

Schedule of Condition

**The Market House
Ledbury**

Prepared on behalf of:

**Herefordshire County Council
Brockington
35 Hafod Road
Hereford
HR1 1SH**

**Job No: 26282
Date: 19 July 2013**

B A I L Y • G A R N E R



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35 Hafod Road
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Photographic Schedule of Condition

The Market House, Ledbury

1.0 Executive Summary

In accordance with instructions received from Herefordshire County Council, we have undertaken an inspection of the building known as Market House, Ledbury. The purpose of the inspection is to provide an assessment and report of the current state and condition of the property, in consideration of an application for grant funding for necessary repairs and future use of the property.

The building in question is a Grade 1 listed historic building, originally constructed early 1600's, situated in a prominent position on Ledbury High Street, in the town centre. The building is constructed on 16no. exposed oak columns, with the building and accommodation situated at 1st Floor level. The undercroft to the building is open to the general public, and contains the entrance staircase leading up to the 1st floor accommodation. The accommodation comprises a single open plan meeting hall, used for public events and as a tourist attraction.

Overall, the current condition of the property is considered to be in a good condition, with no major defects noted. However, we have identified a number of minor defects and items of routine maintenance that should be undertaken in the short to medium term, in order to maintain the state and condition of the property.

2.0 Introduction

2.1 Instructions

Baily Garner LLP has been instructed by Herefordshire County Council under their Framework Agreement to inspect the property known as The Market House, Ledbury to report on its general condition and state of repair. The scope of our instructions and conditions of engagement are confirmed in our fee proposal dated 8 July 2013.

In principle the condition report is to form part of an application and in consideration that the property is in the right condition and being put to the best use for Ledbury town. The property is currently used for Local Town Council and public meetings, and is open to the general public at certain times during the day for tourist purposes.

The purpose of this report is to identify the major areas of repair and any pressing immediate defects requiring attention.

At this stage no specialist reports have been commissioned, and service installations were inspected from building surveyor's view only.

Our inspection of the property was undertaken on 10 July 2013, when the weather conditions were clear, sunny and hot.

2.2 Site, Location and Building Configuration

The subject premises are located on the main thoroughfare through Ledbury town centre in a prominent position open to the general public. The premises comprise of a single open-plan hall

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at first floor level, supported by 16 No oak timber support posts off stone padstones. The building is rectangular in plan, oriented north to south; and is bounded by the public highway to all elevations, accessible to general public to the open areas beneath the raised Market House (Refer Photo 1).

Access into the building is via a timber staircase positioned beneath the building rising to a single swing entrance door into the open-plan space.

2.3 Property Status and Heritage Significance

We understand that the building is a Grade I Listed Building situated within a designated Conservation Area.

3.0 Building Structure and Fabric

3.1 Roofs

The main dual pitched roof is formed of internally exposed oak timber purlins and rafters supporting timber roof deck overlaid with timber battens and plain clay tiled roof covering. The projecting eaves overhang is supported off the timber frame. Eaves gutters run the full length of the building to either side falling to downpipes and gullies at each corner of the building. The main roof is capped at ridge level with clay ridge tiles. (Refer Photo 2)

We understand that the roof was refurbished circa 2006, incorporating works to fully strip the roof, install a vapour barrier over the timber boarded ceiling, replacing timber battens, installation of 50mm thick insulation fitted between counter battens, and relaying clay tiles, replacing any defective tiles as part of the works.

The following issues were noted:

- The roof structures and covering appear to be in a generally good condition with no significant water ingress noted internally during our inspection.
- However, some minor defects were noted that will require attention in the short term, including a small number of tiles noted to be missing or loose (particularly to the High Street pitch); broken section of guttering at mid-elevation to the High Street pitch; and damaged ridge tile at mid-elevation.
- Due to the immediate surrounds of the building being open and accessible to the general public and the steep pitch of the roof, loose or slipped tiles present a health and safety risk and liability. We would therefore advise that consideration be given to installing a form of guard at the base of each roof pitch in order to catch slipped tiles. (Refer Photos 3-5)

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3.2 Elevations

External elevations comprise rendered infill panels between exposed structural and sub-frame elements, which we presume are formed of traditional construction and materials. (Refer Photos 6-8)

The high level gable ends to the north and south elevations are supported off the wall plates to the top of the timber wall frame. To the south elevation the windows and gable cill on the wall plate are dressed in lead flashings. It was noted that the jettied north elevation projects from the lower level face of the building set flush with the edge of the timber wall plate. There is no lead dressing to this junction (Refer Photo 9).

The elevations are generally considered to be in good condition, with only minor items of disrepair noted during our inspection.

- We noted that there are localised areas of disrepair to some infill panels, generally to the lower corners of the panel, which corresponds to damp-affected finishes internally. We understand that only localised panels of render repair were undertaken during the building overhaul in circa 2006 rather than all panels being replaced, and therefore these isolated areas of disrepair should be considered during the next phase of general maintenance required.
- We also noted internally areas of water damage to finishes at the base or head of infill panels. As part of a planned maintenance regime works to re-seal the perimeter wall infill panels will need to be undertaken.
- Decorations to infill panels were generally noted to be in good condition. The decorations to the timber structural frame and sub-frame elements are noted to be in fair condition, with areas of flaking finishes noted, particularly to the south and east facing elevations (Refer Photo 10).

3.3 Windows

The windows to the property comprise of timber framed units incorporating twelve glazed lead lights separated by timber mullions and transoms. There are a total of 8 No windows, with three windows to the west elevation, two to the east elevation, two to the south elevation and one to the north elevation (Refer Photos 6-8).

There are a further 2 No windows to the high level gable ends of the property to the north and south elevations, comprising of timber framed lead light windows incorporating 5 No glazed lights.

Each of the 10 No windows to the property incorporates a glazed lead light metal casement window set within the timber frame, with windows to the east and west elevation incorporating two metal casements, and windows to the north and south elevation incorporating one metal casement.

The windows were found to be generally in a fair condition, with only minor localised defects identified.

- Localised areas of wet rot were noted to the base of a number of windows, particularly to corners (Refer Photo 11), which we would typically expect to find in windows of this age and

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construction. Repairs will be required in the short to medium term to prevent further deterioration to window frames and to prevent damage to building fabric.

- It was noted that the centre mullion between the two casement windows to the left-hand window on the west elevation was loose and requires refixing. This issue is a health and safety risk due to the presence of the bus stop and waiting members of the general public immediately beneath the window. This requires attention in the immediate term.
- The ironmongery to the windows was generally functional, although some windows had seized, presumably due to lack of use. Overhaul of ironmongery should also be undertaken during window maintenance works.
- Decorations to windows are generally in fair condition, however will require redecorating in the short term, particularly to bottom rail and cill frame elements.

3.4 Doors and External Joinery

The only door into the building is positioned to the north-east corner of the floor plan, accessed via the external exposed timber staircase. The main entrance door is a single leaf timber panelled door with swing hinges to open in both directions. (Refer Photo 12)

The access staircase is formed of timber newel posts and stringers supported from the structural timber beams and columns. The staircase is configured with a 90 degree turn at the half-landing with an enclosed lobby at first floor landing level at the main entrance door. There is a security gate at the base of the staircase and also at the bottom step of the half-landing formed of timber with iron railings. The staircase has timber treads with open risers, although we note that a half-closing piece has been retrospectively fitted to the underside of each step at the leading edge, which we presume is a health and safety measure. The nosings of each step are not contrasted, however grooves have been cut to the nosing of each step and non-slip surfacing has been applied, again for health and safety reasons. The staircase is enclosed by timber handrails supported off decorative metal balustrading to both sides up to a height of circa 1.2m. A metal low level handrail has also been retrospectively fitted to one side of the staircase to assist users. (Refer Photos 13-15)

The following issues were noted:

- The main entrance door is considered to be in fair condition given its age and situation. It was noted that the ironmongery and arrangement of the door does not comply with current regulations.
- The external staircase leading to the main entrance is considered to be in a fair condition given its age and situation. Again, it is noted that the handrail configuration does not comply with current regulations.
- Decorations to the door and staircase are generally in fair condition and we would recommend that redecoration is required within the short to medium term.

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3.5 Foundations, Principal Structure and First Floor

Visual inspection of the foundations is not possible as they are below ground level, and the depth and substrata of the foundations has not been ascertained as part of this survey. However, the building is supported by 16 No oak columns built off stone padstones. (Refer Photo 16)

We understand that extensive remedial works have been undertaken to the base of the columns and the padstones in circa 2006, and we did not identify any signs of stress or defects that would suggest structural failure during the course of our inspection.

The structure of the building is an exposed timber exoskeleton supporting exposed timber floor joists and floorboards. (Refer Photo 17)

There were no observed defects suggesting fundamental inadequacies to the principal structure during our inspection.

- Consideration should be given to applying protective finishes to the supporting timber structure, which should be reviewed in line with remedial works undertaken to supporting columns in 2006, and specialist advice in respect of protections to the 16no. oak columns.

3.6 Internal Areas

Internal accommodation comprises of an open-plan meeting hall, with a raised platform area to the south end of the building. Finishes to the internal areas incorporate painted stained finishes to exposed structural timber elements and exposed timber boarded pitched ceilings, and timber floorboards. Finishes to internal face of infill panels to walls comprise of presumed lath and traditional horsehair plaster, with paint finishes applied. (Refer Photos 18-20)

A lightweight enclosure has been constructed around the main entrance door and staircase opening through the first floor.

There are no other amenities or facilities provided to the building.

- The internal areas generally appear to be in good order and we understand that redecorations were undertaken during the course of refurbishment works in circa 2006.
- During our inspection we noted a number of incidents of localised water damage due to joints between infill panels and structural frame. (Refer Photo 21) Following completion of remedial repairs to external elevations, consideration should be given to redecorating internal areas throughout. For budgeting purposes, we have allowed costs associated with redecorations of walls, floors, ceilings and timber frame elements to be undertaken within the short to medium term.

3.7 Building Services

Heating to the property is provided by electric warm air fan heaters positioned on the top of structural timber beams running at eaves height. Electric night storage heaters are also installed to the perimeter on the east and west elevations, linked back to time clock positioned adjacent to the main distribution board behind the entrance enclosure. High level fans are installed within the apex of the ceiling to assist in distribution of warm air from high level down to low level. Neither

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the heating system nor the high level fans were in operation at the time of our inspection. We have not been provided with any certification regarding the heating system, and would advise that these are routinely checked, particularly with regards to the fan heaters to the beams at eaves height due to the potential for accumulation of dust in these units. (Refer Photos 22 & 23)

Lighting to the property is provided by pendant light fittings supported off the timber beams running the length of the building at eaves height level controlled by switches positioned to the rear of the entrance enclosure. (Refer Photo 22)

- The lighting installations appear to be in a generally fair condition commensurate with age, however we note that there is no emergency lighting installation within the property. We would advise that a separate installation be installed in accordance with health and safety requirements, or alternatively install integral emergency lighting during main lighting refurbishment.

The electrical mains incoming is located to the north-east corner of the property. The main incoming isolator and meter and primary distribution board are fixed to the north elevation housed within a timber meter cupboard fixed to an infill panel. (Refer Photos 24 & 25)

Small power to the property is provided by individual surface mounted sockets affixed to base of walls and timber structure around the perimeter of the building.

- The electrical distribution appears to be in generally good condition commensurate with its age, with no significant defects noted.
- We have not been provided with any electrical periodic inspection or service reports and we would advise that this is reviewed to ensure that existing installation complies with current regulations.
- We note that the property is not provided with a dedicated fire detection or alarm system and we would advise that consideration be given to installing smoke detection linked to a Redcare system as a measure to assist in preservation of both life and building fabric in the event of fire.

3.8 External Areas

The property is bounded on all four sides by public highway, with the west elevation facing the High Street. The boundary line of the property is difficult to define, and we have not been provided with deeds for the property in preparation of our report.

At ground level the external areas of the property are defined by the outside face of the supporting columns and stone flagstone and brick paviours directly beneath the building. The first floor over-sails the ground level footprint of the structural columns and in part over the public footpaths and bus stop to the west elevation.

- The external areas are generally noted to be in a fair condition, however we noted areas of uneven and cracked blue brick paviours and uneven flags to the perimeter of the ground level footprint. These areas present a potential trip hazard risk and should be reviewed as part of your risk assessment procedures. (Refer Photos 26 & 27)

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- We also note that the steps off the public highway into the building footprint at ground level are not contrasted and should also be considered within a risk assessment.

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Appendix A Schedule of Condition

Element	Description	Condition	Budget Estimate
EXTERNAL			
Roof	Clay tiles with rounded clay ridge tiles.	Missing & slipped tiles to roof pitch. Eroded pointing to ridge tiles. Install roof/bird guard at eaves level to catch slipped tiles.	
Roofing Works Generally		General repair and maintenance to roof, including access equipment and protection of public, including Scaffolding.	£5,000.00
North Elevation Wall	Timber framed construction with infilled render panels to first floor.	Shakes evident to timber elements generally. Decorations to timber elements defective to isolated locations. 3no. rendered panels defective to isolated locations. Seals to perimeter of infill panels degraded and defective in isolated locations. Flashing required to bottom of gable wall beam cill.	
East Elevation Walls	Timber framed construction with infilled render panels to first floor	Shakes evident to timber elements generally. Decorations to timber elements weathered and degraded generally.	

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Element	Description	Condition	Budget Estimate
		Seals to perimeter of infill panels degraded and defective in isolated locations.	
South Elevation Wall	Timber framed construction with infilled render panels to first floor	Shakes evident to timber elements generally. Decorations to timber elements weathered and degraded generally. 4no. rendered panels defective to isolated locations. Seals to perimeter of infill panels degraded and defective in isolated locations.	
West Elevation Walls	Timber framed construction with infilled render panels to first floor	Shakes evident to timber elements generally. Seals to perimeter of infill panels degraded and defective in isolated locations.	
Wall Repairs Generally		Repairs to external timber, excluding scaffolding.	£2,000.00
		Redecorations to timber frame elements	£3,800.00
		Redecorations to rendered infill panels	£3,600.00
Rainwater Goods	Cast Iron.	Rainwater pipework has discoloured	

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Element	Description	Condition	Budget Estimate
		from black to patchy black and grey.	
		North end downpipes drain directly onto paving which eventually runs to gulley.	
		Replace section of broken guttering to West Elevation	
		Clean gutters and outlets.	
Rainwater Goods Generally		Repairs and redecoration required, excluding scaffolding costs.	£500.00
Windows	Timber framed single glazed lead-light windows, with metal casements.	External redecorations required to maintain condition of windows.	
		Internal splice repairs required to treat isolated wet rot to corners of frame and glazing beads.	
		Urgent repairs required to central mullion to left hand side window to West elevation, currently loose.	
		Internal redecorations required to maintain condition of windows.	
Windows generally		General frame repairs and redecorations internally and externally, excluding access costs.	£5,000.00
Structural Timber Frame	16no. Oak columns on stone padstones, supporting beams and framework to underside of 1 st Floor.	Shakes evident to timber elements generally.	
		Columns untreated and undecorated (requires specialist advice).	

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Element	Description	Condition	Budget Estimate
		Periodic structural investigation required to base of columns.	
Structural Timber Generally		Redecoration required (excluding 16no. columns – subject to specialist advice), excluding scaffolding costs.	£2,000.00
External Staircase	Timber access staircase, with decorative metal balustrading.	Decorations to staircase aged.	
		Non-slip finish applied to treads, aged, and limited contrasting to nosings.	
		Handrails do not confirm to BS8300.	
External staircase generally	(Refer separate Access Audit Report)	Works to improve usability and redecorate staircase.	£4,200.00
INTERNAL			
Ground Floor			
Ceiling	Stained timber boards to underside of pitched roof.	Redecorations required to ceiling as part of routine maintenance.	
Ceilings Generally		Redecorations and allowance for isolated repairs to timber boards as identified (incl internal tower access).	£2,500.00
Walls	Exposed timber frame and sub-frame elements with painted plaster infill panels.	Water damage to plastered panels internally where external panel joints failing.	

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Element	Description	Condition	Budget Estimate
		Hairline cracking to isolated areas of panels.	
		Cracking noted to plaster to previous panel repairs.	
	Timber frame.	Shakes to timber posts.	
		Decorations to timber elements subject to direct sunlight, defective.	
	Internal and external walls to staircase lobby.	Generally in good condition. Redecorations required to maintain condition.	
Walls Generally		Wall repairs generally	£ 3,200.00
Floor	Stained timber floorboards over structural timber frame.	Flooring generally noted to be in good condition.	
Floors Generally		Redecorations required to maintain condition.	£1,200.00
Entrance Door	Historic timber.	Door in good condition, but subject to Equalities Act issues (Refer separate Access Audit Report).	
		Historic ironmongery serviceable.	
		Redecorations (subject to consent)	£300.00
Mechanical and Electrical	Electric fan heaters to top of wall plate roof beams.	Not in operation at time of inspection. Suggest cleaning to remove dust and testing and certifying.	£300.00

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Element	Description	Condition	Budget Estimate
	Electric night storage heaters to perimeter walls, and timeclock control.	Not in operation at time of inspection. Suggest cleaning to remove dust and testing and certifying.	£500.00
	Mains incoming, distribution boards and meters.	Periodic inspection report not made available at time of inspection. Suggest testing and re-certified to ensure compliance and safety.	£450.00
	Lighting	Pendant light fittings aged. Suggest replace with new modern equivalent.	£5,000.00
	Emergency Lighting	None provided. Include for emergency packs to selected fittings during lighting replacement.	£1,200.00
	Fire Alarm	No systems installed.	£4,500.00
	External Lighting	Upgrade lighting beneath building and to access points.	£3,000.00

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4.0 Schedule of Photographs

Photo	Description
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External Photographs



Photo 1 General view of Market House from High Street

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Photo 2 View of left hand side of roof on west elevation



Photo 3 Broken section of guttering to west elevation

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Photo 4 Missing tile and missing pointing to ridge tiles on west elevation



Photo 5 View of rainwater goods to north west corner of the building

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Photo 6 General view of north and east elevations



Photo 7 General view of south elevation

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Photo 8 General view of west elevation



Photo 9 View of high level gable cill to north elevation and 3 no damaged panels

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Photo 10 Faded decorations to timber elements to south elevation at high level



Photo 11 Localised disrepair to base of windows

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Photo 12 External view of entrance door



Photo 13 View of staircase from first floor landing level

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Photo 14 **View of staircase from ground level**



Photo 15 **View of underside of staircase**

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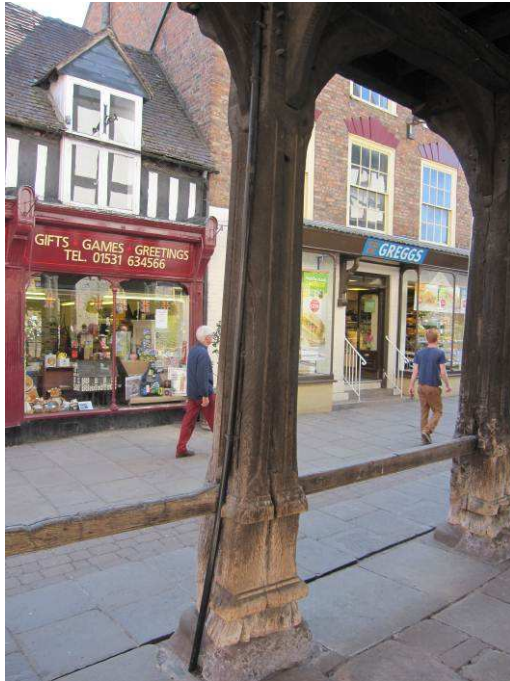


Photo 16 **View of oak columns supported off stone headstones**



Photo 17 View of underside of first floor showing structural timber framing elements

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Photo 18 General view of south end of first floor



Photo 19 General view of north end of first floor, incorporating entrance lobby

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Photo 20 View of exposed timber roof boards forming ceiling and timber joists on roof purlins



Photo 21 General view of water damage to inside face of infill panel due to defective joints

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Photo 22 View of fan heaters situated on top of roof beams



Photo 23 View of night storage heater positioned to perimeter of first floor

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Photo 24 View of electrical distribution board



Photo 25 View of mains incoming and isolation switch positioned on north wall

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Photo 26 View of access to underneath the building from west elevation

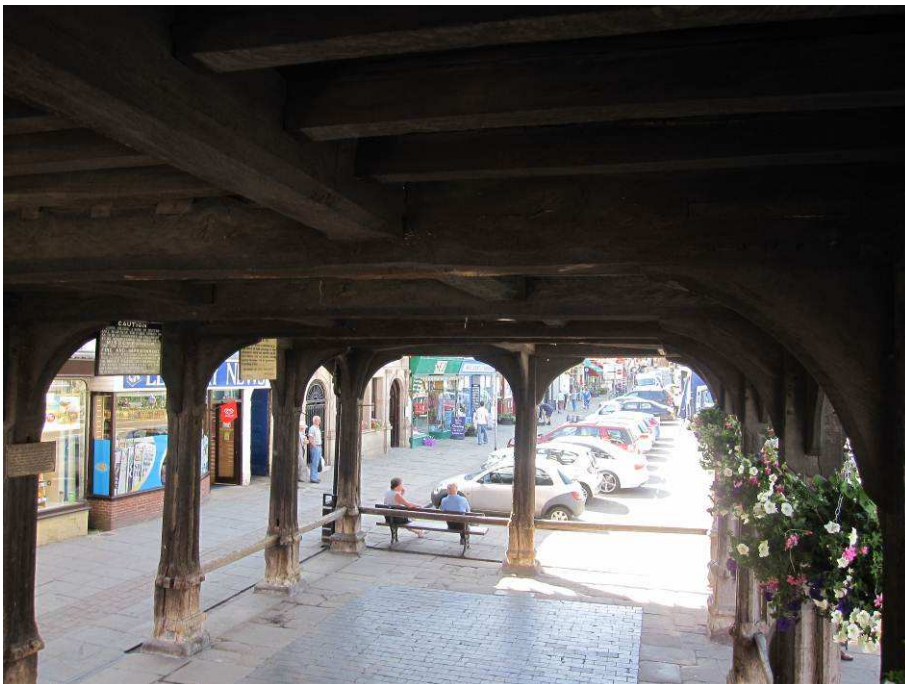


Photo 27 General view of external paving to underside of building