



LEDBURY TOWN COUNCIL

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5 March 2021

TO: Councillors Bannister (Chairman), Chowns, Eakin, Harvey, Howells, Knight, Manns, Morris (Vice-Chair) and Vesma (Town Mayor – Ex-officio)

Dear Member

You are hereby summoned to attend meeting of the Economic Development & Planning Committee on Thursday, 11 March 2021 at 7.30 pm. During the Covid-19 Pandemic, meetings will take place via Zoom for the purpose of transacting the business set out below.

Members of the public will be able to watch the meeting live on the Council's Facebook Page at the link below:

<https://www.facebook.com/Ledbury-Town-Council-1834014213360154/?ref=bookmarks>

Yours faithfully

Angela Price PSLCC
Town Clerk

A G E N D A

1. To receive apologies for absence
2. To receive any declarations of interest and written requests for dispensations

(Members are invited to declare disclosable pecuniary interests and other interests in items on the agenda as required by the Ledbury Town Council Code of Conduct for Members and by the Localism Act 2011)

(Note: Members seeking advice on this item are asked to contact the Monitoring Officer at Herefordshire Council at least 72 hours prior to the meeting)

3. Public Participation

Members of the public are permitted to make representations, answer questions, and give evidence in respect of any item of business included in the agenda. If you wish to raise a question or concern related to any item on the agenda and would like to attend the meeting, please contact the Town Clerk for the Zoom link to join the meeting.

MINUTES

4. To approve and sign, as a correct record, the minutes of a meeting of the Economic Development & Planning Committee held on 11 February 2021 (5 minutes) (Pages 1727 – 1734)
5. To review Action Sheet (5 minutes) (Pages 1735 - 1737)

PLANNING

6. Planning Consultations (20 minutes) (Pages 1738 - 1789)

	Application Number	Deadline for comments	Application details
6.1	204577	5 March 2021	Proposed redevelopment of the former auctions with associated demolition works, now car parking and other infrastructure – Former Auctions Rooms, Market Street, Ledbury, Herefordshire
6.2	204578	5 March 2021	Proposed redevelopment of the former auctions with associated demolition works, now car parking and other infrastructure – Former Auctions Rooms, Market Street, Ledbury, Herefordshire – Listed Building
6.3	210087	19 March 2021	Demolition of existing garden shed and the erection of a single detached garage and open sided car port – 22 Bramley Close, Ledbury, Herefordshire, HR8 2XP
6.4	210128	26 February 2021	Proposed installation of ground source heat pump – Marley Hall, Staplow, Ledbury, Herefordshire, HR8 1NR
6.5	210187	15 March 2021	Outline application for detached dwelling (infill plot) – Land at 46 Queensway Ledbury, Herefordshire, HR8 2AZ

6.6	210271	12 March 2021	To drill a 350mm hole in the kitchen wall (extension) for extraction ducting. To remove a section of timber floor to expose an existing stairwell. To renovate and repair the cellar floor and walls. To replace PVC u door and window fittings with timber – 8 New Street, Ledbury, Herefordshire, HR8 2DX
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7. Planning Decisions (5 minutes) (Pages 1790- 1792)

WORKING PARTIES

8. To receive and note the minutes of the Major Planning Applications Working Party meetings held on 22 February 2021 (5 minutes) (Pages 1793 - 1796)

9. To receive and note the minutes of the Traffic Management Working Party meeting held on 23 February 2021 (5 Minutes) (Page 1797)

10. Neighbourhood Development Plan Working Party (Pages 1798 - 1838) (20 minutes)

- i. To receive and note the minutes of a meeting of the Neighbourhood Development Plan Working Party held on 2 February 2021
- ii. Notes of meetings 17-22 of the Steering Group
- iii. NDP Development Plan Revision 2021: Invitations to quote
- iv. NDP 2021-2031 Issues and Options February 2021 1st Review

11. Economy & Tourism Working Party (Pages 1839 - 1843) (5 minutes)

- i. To receive and note the minutes of a meeting of the Tourism & Economy Working Party held on 22 February 2021

GENERAL INFORMATION

15. Habitat Regulation Assessment (HRA) of Neighbourhood Development Plans within the River Lugg hydrological catchment area (5 minutes) (Pages 1844 - 1846)

16. Request for Ledbury Town Council to apply for a Licence to Cultivate the following areas: (Pages 1847 - 1848) (10 minutes)

- i. Land adjacent to Queens Walk

ii. Bedding areas opposite Bye Street Public Toilets

- 17. Corporate Plan (10 minutes) (Pages 1849 - 1850)**
- 18. The Farm, Bosbury, Woodland Management Plan Consultation (10 minutes) (Pages 1851 - 1886)**
- 19. To note that the date of the next meeting of the Economic Development & Planning Committee is scheduled for 8 April 2021**

Distribution: Full agenda to: - Committee Members (7)
Town Mayor (1)
Press (2)

**MINUTES OF A MEETING OF THE
ECONOMIC DEVELOPMENT & PLANNING COMMITTEE
HELD ON 11 FEBRUARY 2021
VIA ZOOM**

PRESENT: Councillors: Bannister, Chowns, Harvey, Howells, Knight, Morris and Manns

IN ATTENDANCE: Angie Price – Town Clerk
Beth Hughes – Tour Guide Leader

P352. APOLOGIES

Apologies were received from Councillors Manns and Vesma

P353. DECLARATIONS OF INTEREST

No declarations of interest were received.

P354. PUBLIC PARTICIPATION

None received.

Due to Councillor Harvey's County Councillor commitments and needing to leave the meeting early, Councillor Bannister proposed to bring forward agenda items 4, 5, 17, 10 to complete planning business.

P355. TO APPROVE AND SIGN THE MINUTES OF A MEETING OF THE ECONOMIC DEVELOPMENT & PLANNING COMMITTEE OF 14 JANUARY 2021 AS A CORRECT RECORD

RESOLVED:

Councillor Harvey asked to have a discussion on minute number **P342 on page 1575**. She advised members that she was not present in the meeting however had sent comments to the Chairman on this item for consideration. She expressed her concerns with the decision to meet with Gladman Representatives and Planning Officers at Herefordshire Council due to the time that went into considering the land as not suitable for development. She pointed out that there had been an appeal which Gladman had lost, in respect of this site, and the inspector agreed that if the land were to be built on it would be damaging to the town and landscape. She felt that meeting with Gladman would only give the developers and landowners false hope that the decision would be revisited.

Councillor Bannister advised that the correspondence received only noted the benefits for sporting facilities which would benefit Ledbury, he did not recall there being any mention of housing.

Members agreed to authorise the Town Clerk to contact Planning Officers at Hereford to ask whether it would be beneficial to meet with Gladman Representatives to reinforce that the land at Dymock is not suitable for development.

Councillor Harvey left the meeting at 7:50pm

Councillor Bannister advised members that the grounds of objection on application **204154, minute number P347(3) on page 1578** were incorrect. Whilst the members decision to object to the planning application was a correct record of the discussion and decision taken at the meeting, the Town Clerk advised members that the grounds given for the objection were not.

RESOLVED:

1. **That the minutes of the meeting of the Economic Development & Planning Committee held on 9 July 2020 be approved and signed as a correct record.**
2. **That the Town Clerk contact the Planning Officers at Herefordshire Council to ask for their advice on meeting with Gladman Representatives.**
3. **That Members note that the grounds for the objection in respect of planning application 204154 were incorrect.**

P356.

ACTION SHEET

Members were provided with the Economic Development and Planning Action Sheet. The Town Clerk updated Members on the progress she had made since the last meeting, including the Corporate Plan and the roundabout sponsorship request from Barratts Homes.

RESOLVED:

That Action sheet be received and noted.

P357.

CORRESPONDENCE FROM CIVIC SOCIETY

Members were provided with Correspondence from the Civic Society proposing a collaborative approach to marketing tourist attractions on Church Lane, including the 16th Century Painted Room and Butcher Row Museum.

Beth Hughes, Tour Guide Leader at the 16th Century Painted Room advised that the Council had previously investigated working with other tourist attractions. However, nothing had come to light and whilst she agreed with the proposal in principle, she was not sure how it could work.

Councillor Morris advised that in his 6-years of being a councillor, the various tourist groups with the town have tried to look at ways of working together and marketing under one body, without much success. Members felt that it would be beneficial, especially as the Council are employing a Community Developer Officer, to pursue this option.

Councillor Knight suggested placing an advert on the Town Council website to encourage volunteers to help in the tourist attractions.

Members agreed to the Town Clerk responding to the correspondence to advise that the Economy and Tourism Working Party will discuss this further.

RESOLVED:

That the Town Clerk respond to the correspondence sent by the Civic Society, noting that the Economy and Tourism Working Party will discuss further.

P358.

PLANNING CONSULTATIONS

1. Planning Application 204336 – Hazle Meadows, Ross Road, Ledbury, HR8 2LP

RESOLVED: No Objection

2. Planning Application 204363 – Orchard House, New Street, HR8 2EL

RESOLVED: No Objection

3. Planning Application 204518 – Wood House, Staplow, Ledbury, HR8 1NP

RESOLVED: No Objection

4. Planning Application 204554 – 12 Lambourne Close, Ledbury, HR8 2HW

RESOLVED: No Objection

5. Planning Application 204558- Barns at Siddington Farm, Ledbury

RESOLVED: No Objection

6. Planning Application 204559 LISTED – Barns at Siddington Farm, Ledbury

RESOLVED: No Objection

7. Planning Application 204565 – Spindle Cottage, Upper Mitchell, Ledbury, HR8 1JG

RESOLVED: No Objection

8. Planning Application 210045 – Barn House, 23 New Street, Ledbury, HR8 2DX

RESOLVED: No Objection

9. Planning Application 210046 LISTED – Barn House, New Street, Ledbury, HR8 2DX

RESOLVED: No Objection

P359. PLANNING APPLICATION 201422 – NOTICE OF APPEAL

Members were provided with a Notice of Appeal in relation to planning application 201422, Proposed change of use of tearoom and use of part of first floor to provide two bedrooms to existing ground floor flat.

Councillor Bannister advised that the application had since been withdrawn.

RESOLVED:

That it be noted that this application to appeal had been withdrawn.

P360. TREE PRESERVATION ORDER NOTICE

Members were provided with a Tree Preservation Order Notice from Herefordshire Council.

RESOLVED:

That the Tree Preservation Order Notice be received and noted.

P361. PLANNING DECISIONS

Members were provided with an up-to-date Planning Decisions table. Councillor Bannister advised members that a number of decisions had been made including the refusal of the Deeley development and phase two Barratts proposal.

RESOLVED:

That the list of planning application decisions be received and noted.

P362.

ENQUIRY RECEIVED FROM LOCAL RESIDENT IN RELATION TO BBI DOOR

Members were provided correspondence received from a local resident in relation to the newly installed door to the Barrett Browning Institute.

Councillor Manns reminded members of a meeting of the Economic Development and planning in 2016 where there was a discussion on the planning application for a new door for the Barrett Browning Institute. He advised members that there were no objections to the new door being fitted.

Councillor Howells suggested the Town Clerk respond to the resident and advise that there were no objections to the new door being fitted at the Barrett Browning Institute and that it went through the correct and legal process.

The Town Clerk suggested that going forward all planning applications will be uploaded to the website and the Council social media accounts before the Economic Development and planning

RESOLVED:

- 1. That the correspondence from a local resident be received and noted, noting that the Town Clerk will respond.**
- 2. That all planning applications be listed on the Town Council website and Social Media accounts going forward.**

P363.

CHANGE OF USE (For information only)

Members were asked to receive and note the Town and Country Planning (use Classes) Order 1987. The Clerk advised that she had received the document from Herefordshire Planning Department to help Councillors when making comment on future requests for change of use.

RESOLVED:

That the Change of use document be received and noted.

P364. MINUTES OF THE MAJOR PLANNING APPLICATION WORKING PARTY MEETINGS

Members were asked to receive and note the minutes of the Major Planning Application Working Party meeting held on 11 and 26 January 2021.

RESOLVED:

- 1. That the Working Parties update be received and noted**

P365. UPDATE ON THE NEIGHBOURHOOD DEVELOPMENT PLAN

Councillor Howells provided members with an update on the Neighbourhood development plan including the following:

- a) Notes of the minutes of a meeting of the NDP held on 5 January 2021.
- b) Notes of meetings 12-16 of the Steering Group.
- c) Updated Budget Position as of 21 January 2021.
- d) Current status briefing document
- e) Project timeline forecast as of 9 January 2021.
- f) Current version of document filing record.
- g) Draft Communications and Consultation Plan.

RESOLVED:

- 1. That update on the Neighbourhood Development Plan be received and noted.**
- 2. Notes of the minutes of a meeting of the NDP held on 5 January 2021 be received and noted.**
- 3. That the Notes of meetings 12-16 of the Steering Group be received and noted.**
- 4. That the Updated Budget Position as of 21 January 2021 be received and noted.**
- 5. That Council agree to the adoption of the Current status Briefing document.**
- 6. That members of the Economic Development and Planning Committee receive and note the Project timeline forecast as of 9 January 2021.**
- 7. That members of the Economic Development and Planning Committee receive and note the current version of document filing record.**

- 8. That members of the Economic Development and Planning Committee receive and note the Draft Communications and Consultation Plan.**

P369. TRAFFIC MANAGEMENT WORKING PARTY

Members were asked to receive and note the minutes of the Traffic Management Working Party held on 12 January 2021.

RESOLVED:

That Members of the Economic Development and Planning Committee receive and note the minutes of the Traffic Management Working Party held on 12 January 2021.

P367. ECONOMY AND TOURISM

Members were asked to receive and note the minutes of the Economy and Tourism Working Party held on 25 January 2021 and the minutes of a meeting of the Charter Market Working Party held on 20 January 2021.

Councillor Bannister advised members of the following recommendations:

- a. That a Task & Finish Group be set up to agree what content should be on the Ledbury website. Task & Finish Group members to be Councillor Morris, Caroline Green, Griff Holliday, Christine Tustin and Deputy Clerk, Nicola Young.
- b. That the Deputy Clerk draft a letter to Highway Agency to request a discount due to COVID and requesting support of market town economy. It is proposed to put brown tourism signs to Ledbury on M5 and M50. It was also suggested that Herefordshire Council could provide some funds to support the promotion of market towns.
- c. To the Economic Development & Planning Committee that Economy & Tourism Working Party set up a Task & Finish Group to consider the development of the Charter Market and what evening/Sunday markets could take place. Task & Finish Group members will be Councillor John Bannister, Councillor Stephen Chowns, Caroline Green, Deputy Clerk.

RESOLVED:

- 1. That Members of the Economic Development and Planning Committee receive and note the minutes of the Economy and Tourism Working Party held on 25 January 2021.**
- 2. That a Task & Finish Group be set up to agree what content should be on the Ledbury Tourism website. Task & Finish**

Group members to be Councillor Morris, Caroline Green, Griff Holliday, Christine Tustin, and Councillor Knight.

- 3. That Members of the Economic Development and Planning committee authorise the Town Clerk to investigate whether Highways UK would offer a discount to supply and fit brown tourism signs on the outskirts of Ledbury.**
- 4. That the Economic Development & Planning Committee agree that the Economy & Tourism Working Party set up a Task & Finish Group to consider the development of the Charter Market and what evening/Sunday markets could take place. Task & Finish Group members will be Councillor John Bannister, Councillor Stephen Chowns, Councillor Knight, and Caroline Green.**
- 5. That the notes of the meeting to discuss the Charter Market Working Party held on 20 January 2021 be received and noted.**

P368. CORPORATE PLAN

Members were provided with an updated copy of the Corporate Plan action sheet. The Clerk advised that the office would improve the spreadsheet to make it more readable and effective.

RESOLVED:

That the Corporate Plan action sheet be received and noted.

P369. HEREFORDSHIRE SUSTAINABLE TRANSPORT GROUP

Members were provided with a response of Herefordshire Sustainable Transport Group to the Government Consultation call for evidence on Future of Transport: rural strategy.

RESOLVED:

That Members receive and note the response of Herefordshire Sustainable Transport Group document, noting that any comments are sent to the Town Clerk via email by Tuesday 16 February 2021.

P370. DATE OF NEXT MEETING

RESOLVED: To note that the date of the next Economic Development and Planning Committee will be held on 11 March 2021.

The Meeting ended 9:11pm

Signed Dated

ACTION SHEET

ECONOMIC DEVELOPMENT & PLANNING COMMITTEE

11.02.2021

Minute No.	Action	To be Actioned by	Date Actioned	Comments	Status
P335(2)	That the Town Clerk contact the Planning Officers at Herefordshire Council to ask for their advice on meeting with Gladman Representatives.	TC	24.02.2021	Email sent to KB waiting for response	Completed
P357	That the Town Clerk respond to the correspondence sent by the Civic Society, noting that the Economy and Tourism Working Party will discuss further.	TC			In progress
P362(2)	That all planning applications be listed on the Town Council website and Social Media accounts going forward.	TC		To be undertaken for all applications in the future	On-going
p366(2)	That a Task & Finish Group be set up to agree what content should be on the Ledbury Tourism website. Task & Finish Group members to be Councillor Morris, Caroline Green, Griff Holliday, Christine Tustin and Councillor Knight.	TC & DC	02.03.2021	Meeting arranged	Completed
p366(3)	That Members of the Economic Development and Planning committee authorise the Town Clerk to investigate whether Highways UK would offer a discount to supply and fit brown tourism signs on the outskirts of Ledbury.	TC		DTC to investigate	In progress
p366(4)	That the Economic Development & Planning Committee agree that the Economy & Tourism Working Party set up a Task & Finish Group to consider the development of the Charter Market and what evening/Sunday markets could take place. Task & Finish Group members will be Councillor John Bannister, Councillor Stephen Chowns, Councillor Knight and Caroline Green.	TC & DC	01.03.2021	Meeting arranged	Completed

ACTION SHEET

ECONOMIC DEVELOPMENT & PLANNING COMMITTEE OUTSTANDING ACTIONS FROM PREVIOUS MEETINGS

Minute No.	Action	To be Actioned by	Date Actioned	Comments	Status
2019					
P104	TC to contact HCC to apply for a "licence to cultivate" in respect of the Town Trail	TC	22.10.19	Chasing	Response awaited
P106	That the application from Three Choirs be accepted in respect of the sponsorship of the roundabout at Ledbury By Pass	DTC	22.10.19	DTC advised of outcome of meeting	Awaiting update
2020					
P258	That the Council agree to share the LSCA and site assessment work with HC when completed	TC/NDP			On completion
P273 (2)	That the Clerk be authorised to contact Herefordshire Council to follow up the enquiry in respect of the License to Cultivate.	TC		DTC Following up	In progress
P274(3)	That the Clerk liaise with Ledbury in Bloom annually on colour schemes.	TC			on going
P279(1)	That the Town Clerk consult with Ledbury in Bloom on suggestions in relation to Urban Tree Planting	TC			In progress
2021					
P341	That LTC agree to Barratts being issued a Licence to Cultivate the roundabout on Leaden Way, noting that the roundabout must be cultivated until they have completed all house sales on site	DTC			In Progress
P357	That the Town Clerk respond to the correspondence sent by the Civic Society, noting that the Economy and Tourism Working Party will discuss further.	TC			In progress

p367(3)	That Members of the Economic Development and Planning committee authorise the the Town Clerk to investigate whether Highways UK would offer a discount to supply and fit brown tourism signs on the outskirts of Ledbury.	TC		DTC to investigate	In progress
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ECONOMIC DEVELOPMENT & PLANNING COMMITTEE	11 MARCH 2021	AGENDA ITEM: 6
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6.1 Application No. 204577 & 204578 (Listed Building) – Proposed redevelopment of the former auctions with associated demolition works, now car parking and other infrastructure – **Former Auction Rooms, Market Street, Ledbury, Herefordshire**

There has been considerable interest in this application on social media, however at the time of preparing this report there were only three representations on the portal.

- i. Seven Trent Water have advised that they have no objection to this application subject to the inclusion of the following condition:
 - “The development hereby permitted should not commence until drainage plans for the disposal of foul and surface water flows have been submitted to and approved by the Local Planning Authority, and
 - The scheme shall be implemented in accordance with the approved details before the development is first brought into use this is to ensure that the development is provided with a satisfactory means of drainage as well as to prevent or to avoid exacerbating any flooding issues and to minimise the risk of pollution.”
- ii. The Councils Archaeological adviser states that as advised at the pre-application stage, the applicant will be required to provide the results of an archaeological field evaluation (NPPF Para 189).
- iii. The Senior Landscape Officer has advised that there is no objection to the principle landscape scheme with conditions as outlined in the attached memo.

Attached:

- Design & Access Statement
- 3 x Representations
- Various Plans and drawings

204577/204578

0688_ Market Street Apartments

Land at H J Pugh Auctioneers
Market Street
Ledbury
Herefordshire



Design & Access Statement

February 2021
Revision [A]



1739

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1.0 Introduction & Description

This document has been prepared by KKE Architects in support of the planning application by The Eades Properties Ltd. for a residential development on land at Land at H J Pugh Auctioneers, Market Street, Ledbury.

The scheme proposes 31 new one bedroom apartments, designed to Lifetime Homes Standards. Each apartment has, as a minimum, a small area of its own outside space or balcony and there is also a shared South facing garden area. The proposal indicates 16 parking spaces most are in a "courtyard" Parking area on the North side of the site. The new building proposed generally replaces single storey poor quality buildings. Two existing buildings on the site have been retained Gavel House a recently constructed building which contains a commercial unit and flats arranged over three storeys. New Market House, which is listed will also be retained, however a poor quality 20th century addition to the rear of New Market House will be demolished.



Figure 1 : View of proposed development from North West

2.0 Process

2.1 Assessment

The site is located at the junction of Market Street and Bye Street and occupies approximately 0.28ha within the Ledbury Settlement Boundary and the Ledbury Conservation Area. The site includes the Grade II listed Newmarket House as well as the recently built Gavel House. The site is identified within the Ledbury Neighbourhood Development Plan as the number one Community Action 'Objective Site' for residential development to meet the town's housing needs. This designation was established following extensive engagement with the local community during the NDP process and support for development of 3 to 4 storeys across the site was indicated.

The site itself represents a great opportunity to enhance the streetscape of the Ledbury Conservation Area, as demonstrated by its status in the NDP, and early discussions with the planning officers highlighted the opportunity to help knit disparate elements of the townscape together forming a transition between the hinterland and historic core.

The site currently makes a somewhat unfortunate contribution to the character of the Conservation Area and is ill-defined; it comprises several non-historic and unsightly structures, such as the pre-fabricated commercial sheds. These sheds, together with the outside compound and car parking areas, are prominent within the streetscene, meaning that the street lacks any sense of enclosure and active frontage. Overall, the site currently fails to enhance its surroundings.

Historic maps of the area show that there has been a consistent built presence on the Market Street frontage since at least 1887, and subsequently on the north of the site though this was demolished some time after 1929. Smaller, standalone buildings (presumably dwellings) can also be seen within the site from 1904, these were set back from the street frontage and have since been demolished.

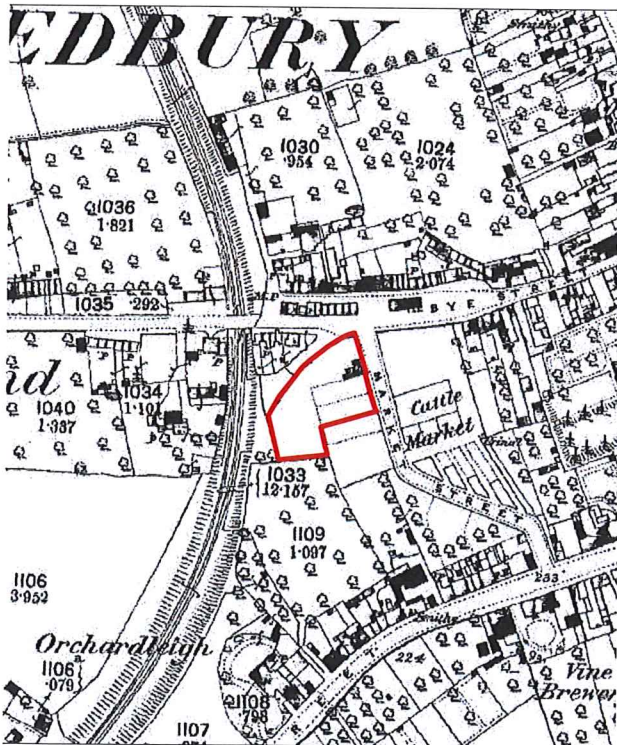


Figure 2 : Map dated 1887

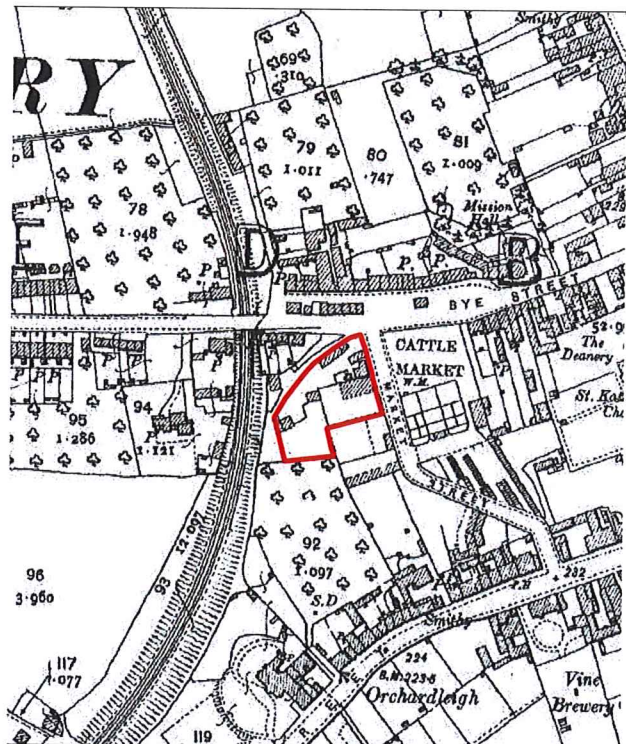


Figure 3 : Map dated 1904

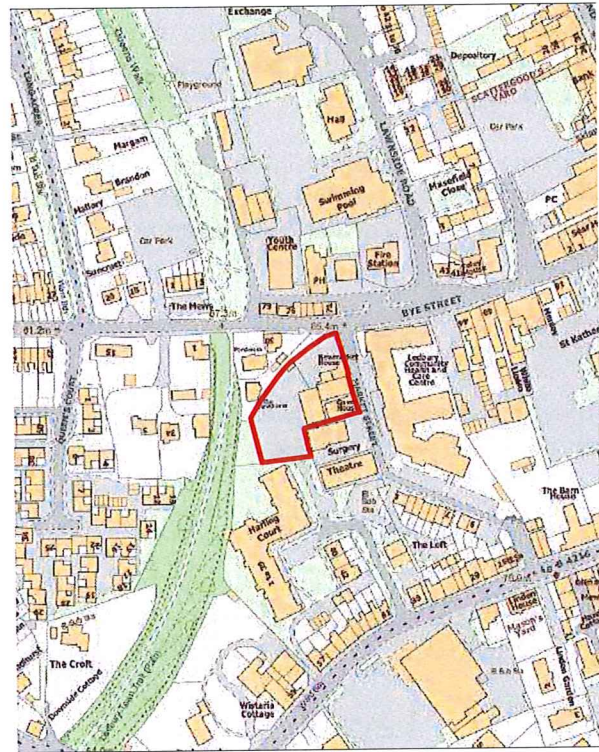
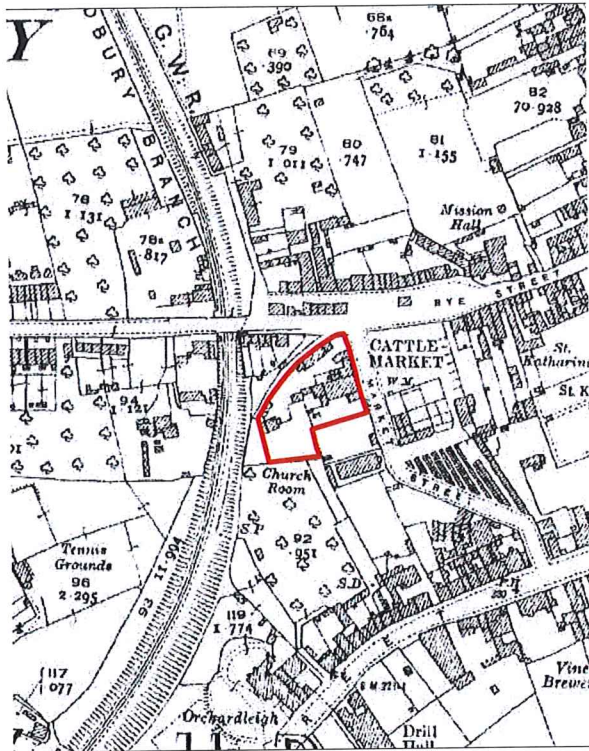


Figure 4 : Map dated 1929

Figure 5 : Map dated 2019

2.2 Involvement

With the site being located within the Ledbury Conservation Area, it was important to establish early consultation with the planning department and obtain guidance and feedback on the proposals as they progressed. An initial outline scheme of 36 apartments was prepared following assessment of the site and submitted for pre-application advice. This scheme and accompanying report was reviewed and a consultation meeting took place to discuss the key considerations relevant to the proposed development.

At the pre-application meeting the council officers suggested that an intermediate design meeting might be useful to allow feedback once the scheme reached a good schematic level but allowing enough time and flexibility for adjustments to be discussed. Formal feedback was received, dated 17th May 2019, upon which adjustments to the scheme were based, and a more fully developed scheme comprising 31 apartments was then produced for further review. This was submitted in July 2020 and a second consultation meeting took place in September 2020.

The response from the second meeting was sufficiently positive for the design to progress towards full planning submission. Comments from the meeting with regards refuse collection, bike storage, landscape quality and elevational treatment to Market Street have been addressed in the submitted plans.

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2.3 Evaluation & Design

In drawing together the design illustrated on the submitted plans, we have considered numerous aspects which together influence the nature of the proposals, including the central aims of the client brief as well as the sensitivities of the historic environment and more practical requirements of the development from a functional perspective.

In terms of the overall design, the feedback received dated 19th May 2019 formed a key part of the refinement of the scheme, and specific points and responses are detailed in sections 5, 6, 7, & 8 below (see bullet pointed quotations in **bold** throughout the text).

3.0 Use

The proposed use of the site is for individual residential apartments. This use is in line with the NDP and further builds on the residential aspect already established on the site at Gavel House.

4.0 Amount

The proposed development includes 31 one bedroom apartments. These are provided over three storeys, totalling 2,512sqm of Gross Internal Area.

5.0 Layout

The layout of the proposals on the site has evolved during the design process, taking on board the response to the initial pre-application submission, and now utilises a more unified massing than the two separate blocks of the initial scheme:

- **"It is felt that the need for transition to the lower density development to the West requires a T or L shaped development to make the best use of the site at present."** Response in developed design: Following on from this advice the scheme design developed along the T shaped model. In developing this model it became evident that there was an opportunity, by maintaining the scale and width of the "T" much more in keeping with overall grain of Ledbury than the large apartment blocks in the area, we would have space to insert a similarly scaled L shaped element wrapped around a shared south facing garden area. See sketch models below which illustrate previous and present schematic proposals.

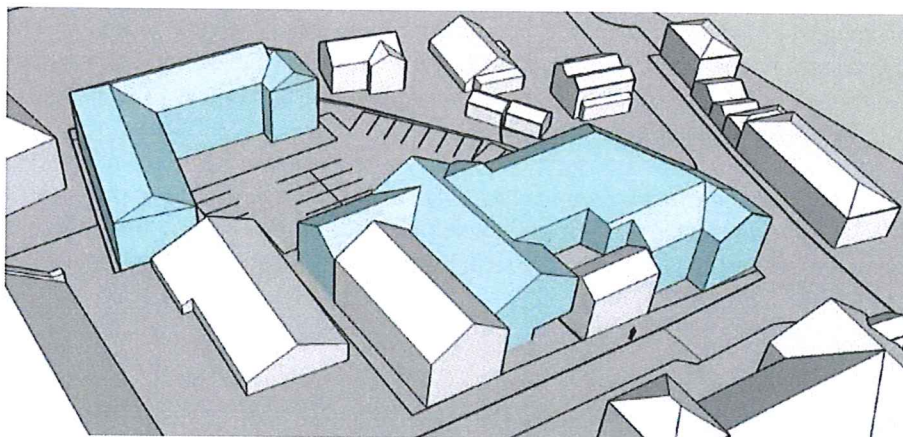


Figure 6 : Massing from initial pre-application submission indicating two separate blocks

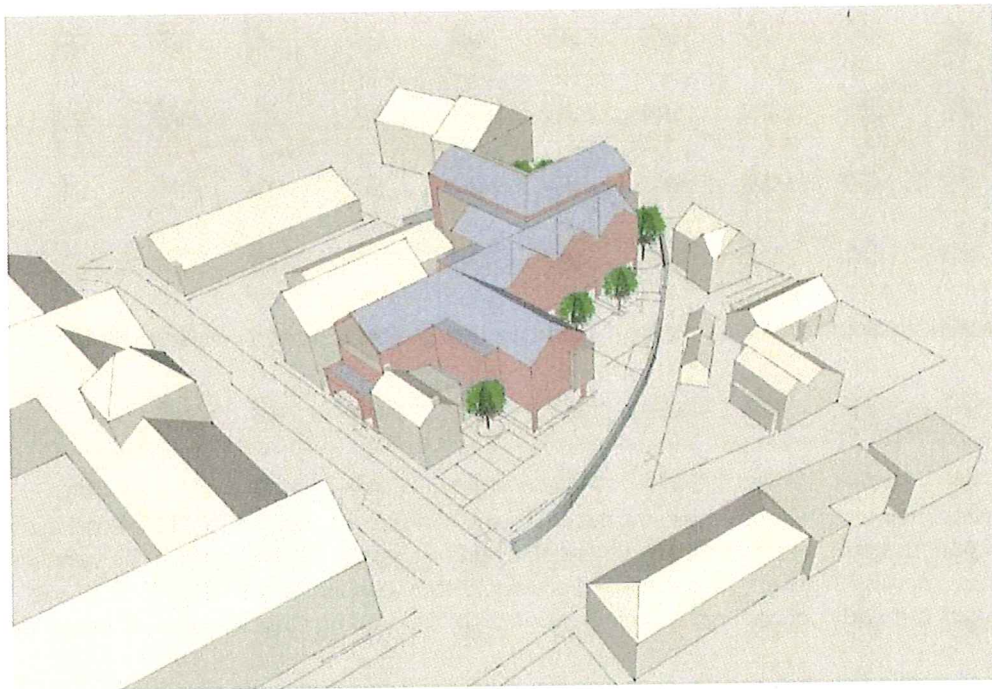


Figure 7 : Massing from more developed schematic

In the current design, the mass of the development is set back from the existing buildings to the north of the site, allowing space for a landscaped approach and parking area.

The massing extends to Market Street, reinforcing the street frontage already established by Newmarket House and Gavel House - an approach supported by the planning officers:

- o **"A clearly defined street frontage to the East is supported together with the retention of the listed building."** Response in developed design : We have continued with reinforcing the street frontage. A three storey frontage that is of a similar scale and geometry to Gavel house and the Market Theatre is proposed. We have retained New Market House, the listed building. Furthermore we have positioned the main pedestrian entrance with link back to the central lift and stair core on the street frontage to compliment this reinforcement. In the second consultation meeting a refinement of the Market Street elevation was suggested in order to better mediate between the scale of the two adjacent existing buildings; this involved raising the height of the brickwork on the street frontage whilst keeping the upper two storeys of the proposal set back from the listed building (see figure 8 & 9 below).

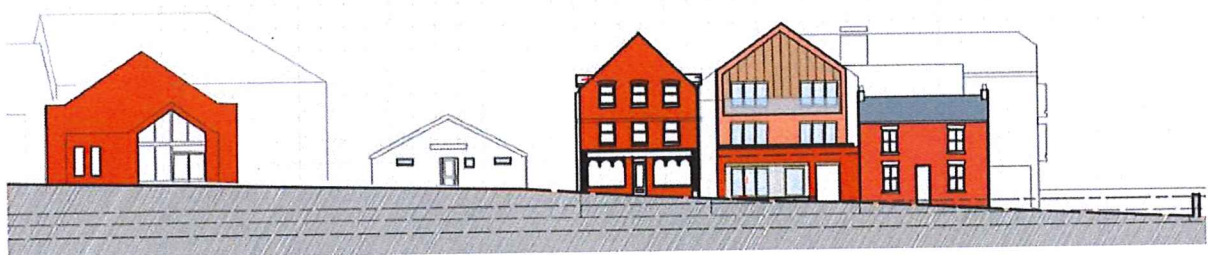


Figure 8 : New Elevation inserted between listed New Market House & Gavel House takes its geometry from existing street elevations

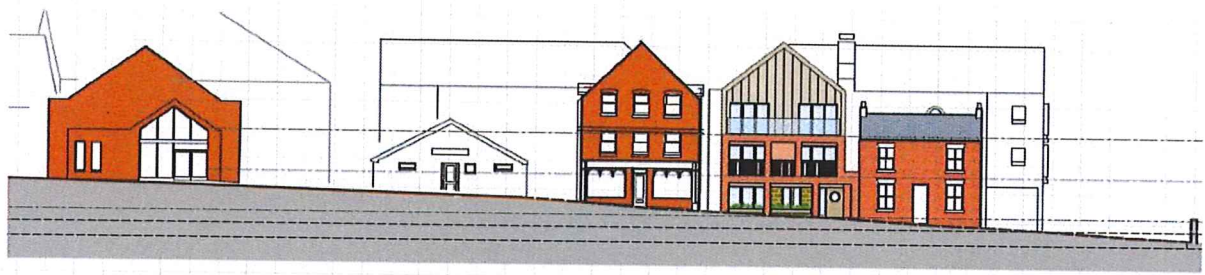


Figure 9 : New Elevation amended to better mediate between the scale of Newmarket House and Gavel House

6.0 Scale

As well as responding to the aspirations of the NDP which indicated support for 3 to 4 storeys across the site, the scale of the built form has been influenced by an analysis of the buildings in the conservation area. This is something highlighted in the initial pre-application response and has informed the development of the early concept scheme in keeping with the existing streetscape and urban grain:

- **“At present it is felt that the proposed depth of plan is too great and uncharacteristic of development within the conservation Area.”** Response in developed design: Following on from this comment, in general, the scheme’s elements have been restricted to that of single apartment depths making the roofs and architectural expression of a scale much more in line with the grain of the conservation area and Ledbury (generally 8-9 metres, see further analysis below) than the original scheme submitted at pre-application and indeed the surrounding more recently built apartments/ sheltered housing scheme [see figure 6 & 7 above also].
- **“In terms of massing, the indicative elevations would appear to over-power the listed building. It is suggested that breaking the mass into smaller elements may allow the scale of the proposed building to relate to existing buildings , but also the grain of the buildings within the conservation area.”** Response in developed design: The scheme presented at the original pre-application stage was built up on both sides of New Market House [the listed building]. In architectural expression the blocks were lacking articulation. As the scheme has developed, the introduction of new building has been limited to the rear and to the South of the listed building only [replacing the Auction rooms and poor quality extension to rear of the listed building]. The articulation of the apartment building has been developed to be much more in line with the grain of the conservation area and Ledbury, taking its scale from the general average of 8-9 metres blocks/frontages. Where the scheme addresses Market Street the sensitively scaled block is also stepped back as it rises to be differential to the adjacent listed building[see figure 6, 7 & 10].



Figure 10 : View from North looking up Market street

- o "We would recommend that a study of the scale, mass and character of the buildings in the conservation area is carried out to inform the design of the buildings on the site." Response in developed design: Following this advice we spent some time studying the urban grain, heights, widths and materials of surrounding streets. Below we have attached some illustrations from this work. Some Basic 'take-outs' from this study are :-
 - Street scenes are a historical collage.
 - Materials vary widely, however they are predominantly either Brick, render or expressed timber frame.
 - In central Ledbury 3 Stories predominate, punctuated with occasional two storey.
 - Plot width generally ranges between 5 and 13 metres , therefore a general average would be around 8 or 9 metres.



Figure 11 : Urban Grain Analysis



Figure 12 : Urban Grain Analysis

We have used this simple analysis to inform the design development. The general width of blocks from which the design is built. This being around 9.7 metres, for the Market Street elevation & width of block behind New Market House). The longer elevation fronting the carpark/courtyard area is broken into 8 metre bays to further reflect the predominant urban grain/rhythm. The proposal is limited to three storeys also respecting the general morphology.

In respect to exterior material finishes we are in a time where it is very difficult to sensibly specify anything other than brick, clay or similar masonry or ceramic tile finishes due to concerns around fire-spread, particularly for apartment buildings. We do not feel being restricted to the use of more traditional materials is an issue in this context as this should compliment the conservation area.

7.0 Landscape

As noted above, the layout of the development has evolved to incorporate areas of landscape, and these present an opportunity to enhance the quality of the site materially and visually, in keeping with the conservation area. The initial pre-app feedback highlighted the following points which we have responded to in the submitted design:

- **“Treat the carpark, not as a carpark, but as a public place. Consider carefully the materials and details to give the central public space a pedestrian aesthetic and atmosphere. Provide seating and landscape areas with trees and planting for residents and visitors to meet and enjoy their place of living.”** Response in developed design: We are following this advice, considering the external spaces created as public spaces and these will be appropriately landscaped. The first and main space is the parking “courtyard” to the North of the Apartments, the intention is to use good quality and contrasting pavers, resin bound gravel, incidental seating and trees appropriate to the location. There are two other external spaces, a shared and sunny South facing garden at the rear of the scheme and a courtyard space at the rear of Gavel House, both will be carefully landscaped with tree/s, paths and seating incorporated.



Figure 13 : Site plan showing external areas and landscaping

- **“Provide Sustainable transport , such as bicycle racks and lockers for residents** Response in developed design: We are following this advice and have allocated a readily accessible enclosure near the building entrance for bike stores/lockers, as well as further covered bike storage to the west of the car park, totalling one bike space per unit (31). It is noted that the property is a 3 minute walk from the town centre and access to bus services and only a 13 minute walk from the railway station.

8.0 Appearance

- **“Set a high bar for architecture and public realm design that acknowledges its location in a conservation area; its relationship with the adjacent theatre and surrounding cultural places such as the Masters House and the high street.”**Response in developed design: It is very much the ambition of The Eades Properties Ltd to produce a high quality product, and the intention is to retain the buildings as assets, rather than selling on the open market. The development team appreciate the special character of Ledbury. The idea will be to create an architecture and quality of environment more akin to almshouses rather than a strictly commercial development producing units for sale.

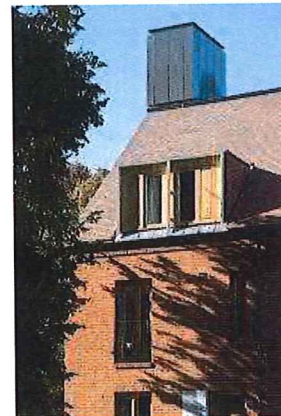


Figure 14: Examples of recently commissioned high quality contemporary architecture highly respectful of context. The first Magdelene College Cambridge, the second at Malborough College.

We considered two possible options to approach the architectural language of the building, both of which could be sensitive to the area [see figure 15 & 16 below]. Option 1 gained its inspiration from the locality, being next to the railway line. It took its cues from the simple paired down aesthetics of victorian industrial buildings with a robust brick, complimented by a ceramic tile finishes making the building look as a single element within the conservation area. The second approach (Option 2) is to use a softer aesthetic, alternating between brick & hung tile to reinforce the 8-9m rhythms created by the architectural form and give the building more of a “collage” feel in its elevation to the courtyard. It is the idea that the detail will remain contemporary so adding a new layer of history to the “collage”. Following feedback at the second consultation meeting in September 2020 the scheme has been developed using Option 2 (figure 16)

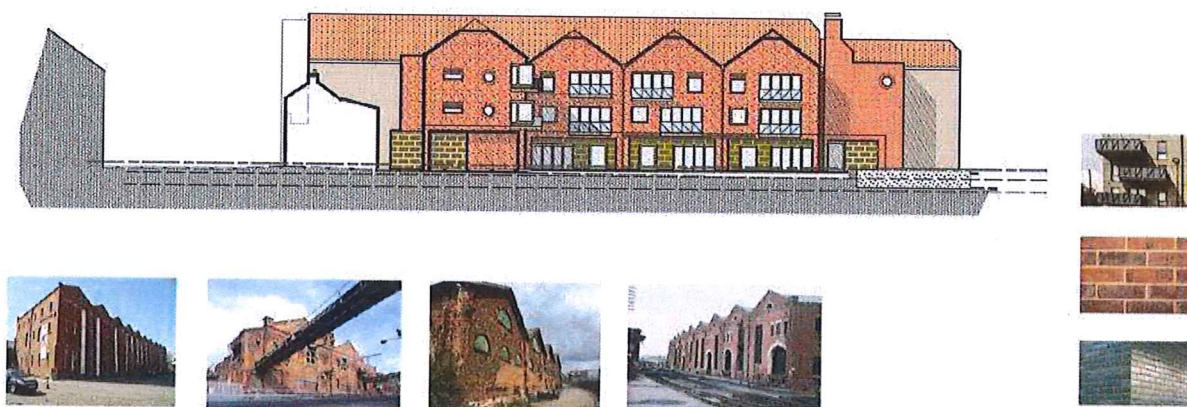


Figure 15 : Schematic Elevation: Option 1. Rhythm has 8-9 metre frontages typical/average to Ledbury Street scene incorporated into a unifying simple aesthetic which takes its cues from victorian railway architecture whilst still remaining contemporary in its detail.

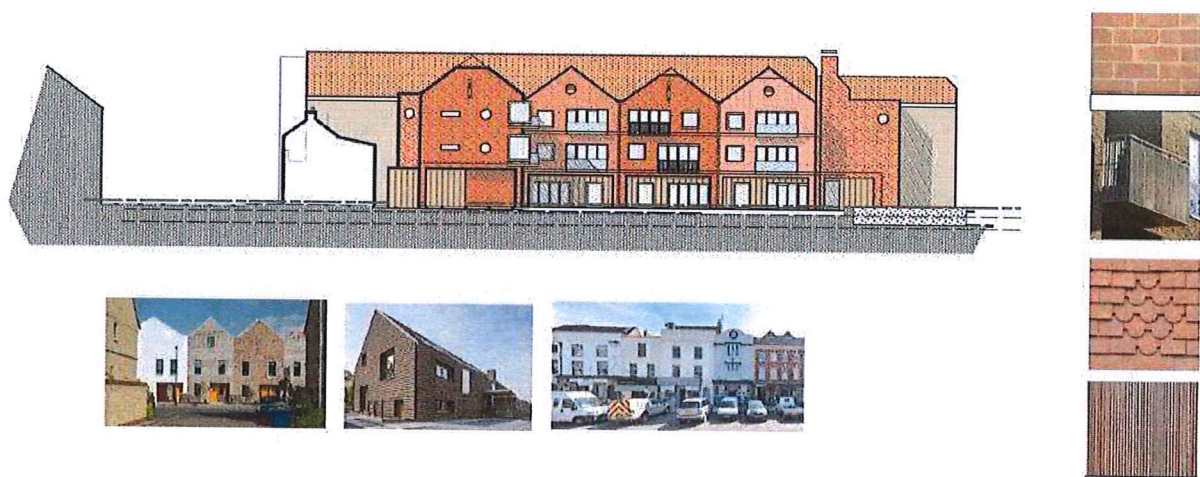


Figure 16 : Schematic Elevation: Option 2 Rhythm based on 8-9 metre frontages typical or average to Ledbury Street scene and using brick, tile and subtle differences in the architecture lend the courtyard more of a traditional character whilst still remaining contemporary in its detail.

9.0 Inclusive Access

The proposed apartment buildings and external spaces are being designed to Lifetime Homes Standards and therefore include the following elements :-

- There is an accessible parking bay positioned adjacent to the main car park entrance.
- The route from the parking bays to the lift core is greater than 1200mm in width.
- Approaches to entrances from car park will be level/slope gradually (1:20.1 or shallower).
- The entrances will be weather protected, illuminated and have a level threshold.
- Dwelling entrance doors will have a clear width of 800mm or greater
- There is communal lift to service all levels
- Generally all corridors exceed 1200mm with communal corridors having a 1500mm width as minimum.
- Internal bathrooms & living spaces will meet Lifetime Homes spacing and zoning including entrance level bathrooms and bed spaces.

From: Planning.APWest <Planning.APWest@severntrent.co.uk>

Sent: 22 February 2021 15:24

To: Brace, Carl <Carl.Brace@herefordshire.gov.uk>

Subject: stw ref 2021021494928 / lpa ref 204577 / Former Auction Rooms, Market Street, Ledbury, Herefordshire,

ST Classification: OFFICIAL PERSONAL

Good Day,

Thank you for the opportunity to comment on this planning application. Please find our response noted below:

With Reference to the above planning application the company's observations regarding sewerage are as follows.

I can confirm that we have no objections to the proposals subject to the inclusion of the following condition:

- The development hereby permitted should not commence until drainage plans for the disposal of foul and surface water flows have been submitted to and approved by the Local Planning Authority, and
- The scheme shall be implemented in accordance with the approved details before the development is first brought into use. This is to ensure that the development is provided with a satisfactory means of drainage as well as to prevent or to avoid exacerbating any flooding issues and to minimise the risk of pollution.

Severn Trent Water advise that there may be a public sewer located within the application site. Although our statutory sewer records do not show any public sewers within the area you have specified, there may be sewers that have been recently adopted under the Transfer Of Sewer Regulations 2011. Public sewers have statutory protection and may not be built close to, directly over or be diverted without consent and contact must be made with Severn Trent Water to discuss the proposals. Severn Trent will seek to assist in obtaining a solution which protects both the public sewer and the building.

Please note that there is no guarantee that you will be able to build over or close to any Severn Trent sewers, and where diversion is required there is no guarantee that you will be able to undertake those works on a self-lay basis. Every approach to build near to or divert our assets has to be assessed on its own merit and the decision of what is or isn't permissible is taken based on the risk to the asset and the wider catchment it serves. It is **vital** therefore that you contact us at the earliest opportunity to discuss the implications of our assets crossing your site. Failure to do so could significantly affect the costs and timescales of your project if it transpires diversionary works need to be carried out by Severn Trent.

Please note if you wish to respond to this email please send it to Planning.apwest@severntrent.co.uk where we will look to respond within 10 working days. Alternately you can call the office on 0345 266 7930

If your query is regarding drainage proposals, please email to the aforementioned email address and mark for the attention of Rhiannon Thomas (Planning Liaison Technician).

1752

MEMORANDUM

To : Internal Consultee
From : Mr C Brace, Planning Services, Plough Lane – H26
Tel : 01432 261947 My Ref : 204577
Date : 12 February 2021

SITE: Former Auction Rooms, Market Street, Ledbury, Herefordshire
APPLICATION TYPE: Planning Permission
DESCRIPTION: Proposed redevelopment of the former auctions rooms site to provide 31 new apartments, together with associated demolition works, new car parking and other infrastructure.
APPLICATION NO: 204577
GRID REFERENCE: OS 370873, 237634
APPLICANT: The Eades Properties Ltd
PARISH: Ledbury

Please let me have your comments by 05/03/2021. If I have received no response by this date I shall assume that you have no objections.

Comments: (Continue on a separate sheet if necessary)

Further information required ☐

As indeed was advised at pre-application stage, in this sensitive location it will be necessary for the applicants to provide the results of an archaeological field evaluation (NPPF Para 189)

In practical terms this will involve the excavation of a number of small trial trenches across the site.

Consultation response from: JULIAN COTTON, ARCHAEOLOGICAL ADVISOR

DATE RETURNED:25/02/2021.....

1753

MEMORANDUM

To : Internal Consultee

From : Mr C Brace, Planning Services, Plough Lane – H26

Tel : 01432 261947 My Ref : 204577

Date : 12 February 2021

SITE:	Former Auction Rooms, Market Street, Ledbury, Herefordshire
APPLICATION TYPE:	Planning Permission
DESCRIPTION:	Proposed redevelopment of the former auctions rooms site to provide 31 new apartments, together with associated demolition works, new car parking and other infrastructure.
APPLICATION NO:	204577
GRID REFERENCE:	OS 370873, 237634
APPLICANT:	The Eades Properties Ltd
PARISH:	Ledbury

The application form, plans and supporting documents are available in Wisdom.

Please let me have your comments by 05/03/2021. If I have received no response by this date I shall assume that you have no objections. Should you require further information please contact the Case Officer.

Any comments should be added below and actioned in Civica to Mr C Brace.

Comments: (Continue on a separate sheet if necessary)

Object ☐

Support ☐

No Objection ☐

Approve with Conditions ☒ (Please list below any conditions you wish to impose on this permission.)

Further information required ☐

Consultation response from: Nigel Koch, Senior Landscape Officer

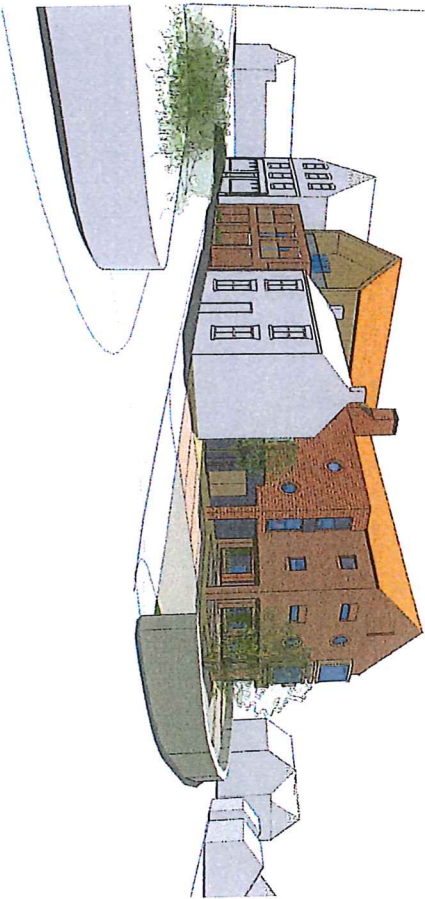
I have no objection to the principle landscape scheme in a reasonably limited site. The use of resin bound surfaces is a visually soft surface, and can have SuDS potential. The tree layout is proportionate to the available spaces, giving a landscape setting and allowing open space for light. There is reference to planting, however this is not provided. Benches are provided, but in a corner of the site. This may be the most optimal location, but it does seem to be tucked away and not an integrated part of the scheme.

In general, further detail is required and a more ambition landscape proposal put forward to make this an interesting place to live in the heart of Ledbury. Consider the use of land form, if using only grass to create interest. Plant hedges to soften the hard edges and boundaries. Consider the design and materiality of vertical landscape elements, not just as a perimeter functional requirement, but as a landscape design element. Make a feature of the seating that acts a sculptural element to give a sense of place. It might located in the middle of a space as a gathering place. There are many examples of bespoke public realm furniture as integrated landscape. Or if going down the off the shelf approach, many suppliers explore dynamic outdoor furniture.

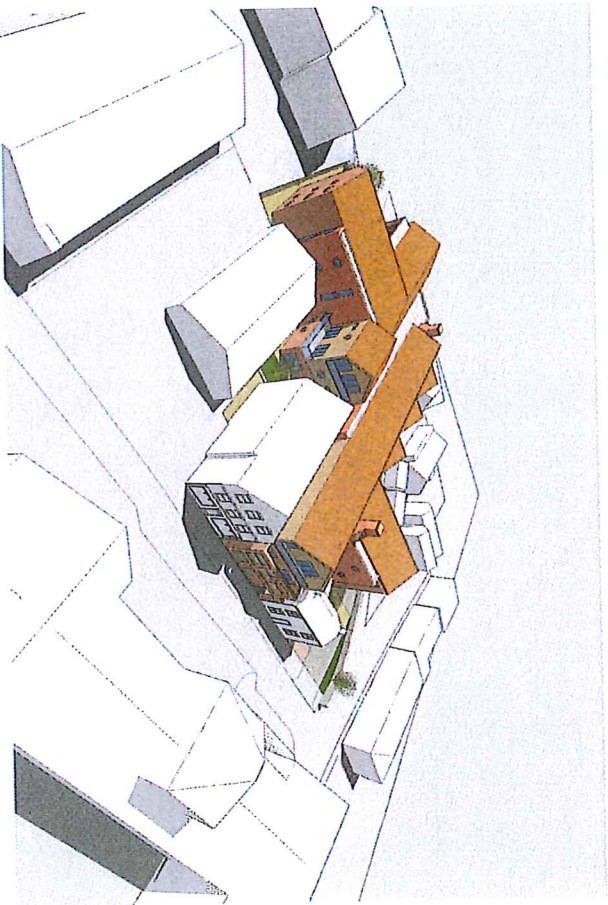
Please submit further detail as part of soft and hard landscape, and corresponding management and maintenance conditions.

DATE RETURNED: 28/02/2021

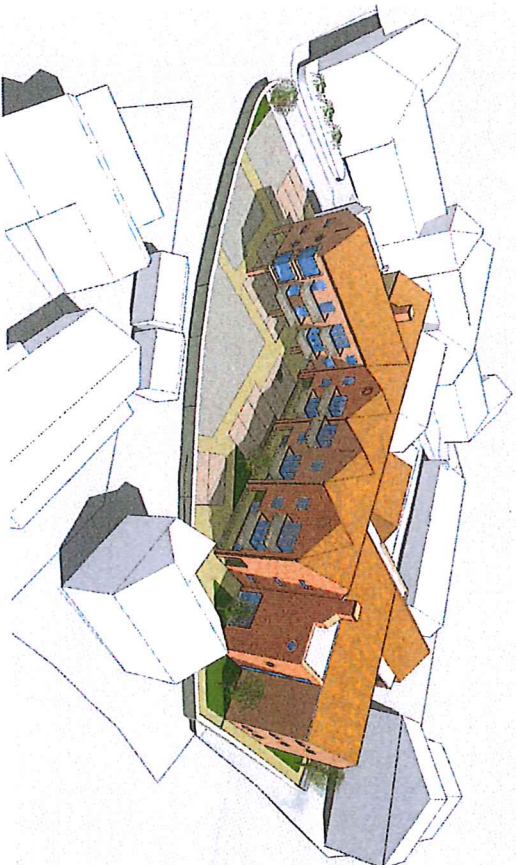
1755



VIEW 1



VIEW 2



VIEW 3



KEY PLAN

1756

Market Street Apartments, Ludbury, Herefordshire

PROJECT

3D VIEWS

DRAWING

NTS @ A1

SCALE

DATE

1. Drawn by: [Name]
2. Checked by: [Name]
3. Approved by: [Name]

No.	Description	Date	By	For
1	Issue for approval	10/11/20 </td <td>[Name]</td> <td>[Name]</td>	[Name]	[Name]
2	Issue for construction	10/11/20	[Name]	[Name]

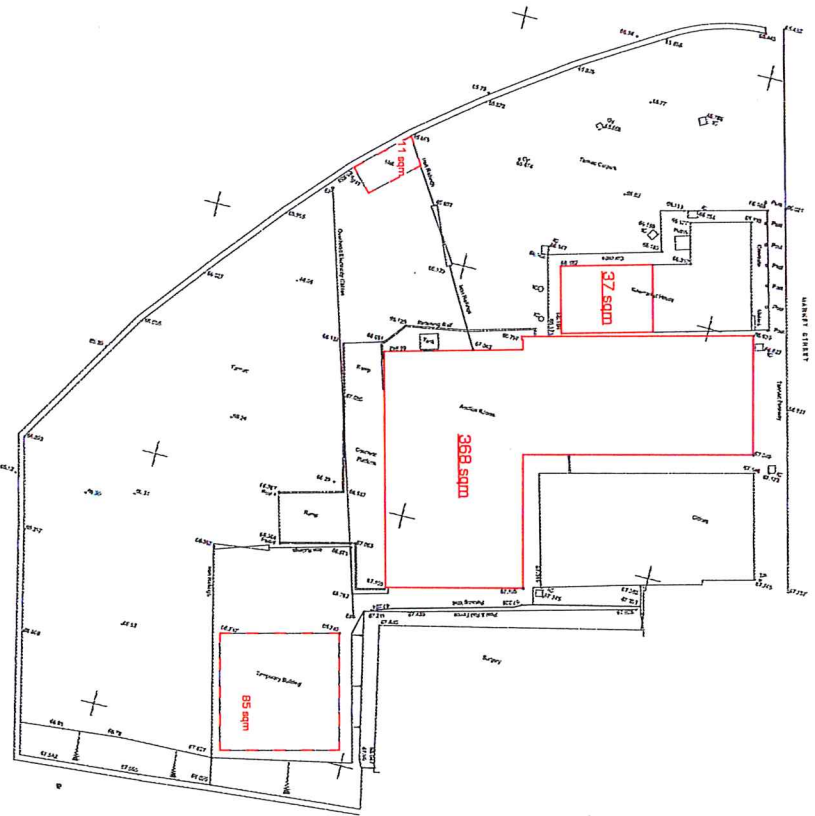
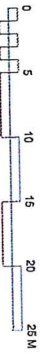
DATE

0688/104101 PLANNING
PROJECT NO. 104101
DATE: The Estates Properties Ltd

WARRINGTON
Digital Media
104101/104101
10/11/20

kke
Kier Construction





KEY

— BUILDINGS TO BE DEMOLISHED (TOTAL 405sqm)

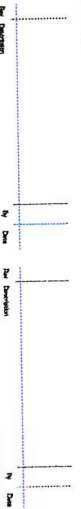
- - - TEMPORARY BUILDINGS TO BE DEMOLISHED (TOTAL 96sqm)

BUILDINGS TO BE DEMOLISHED
SCALE 1:200 @ A1

Marker Street, Apartments, Ladbury, Herefordshire

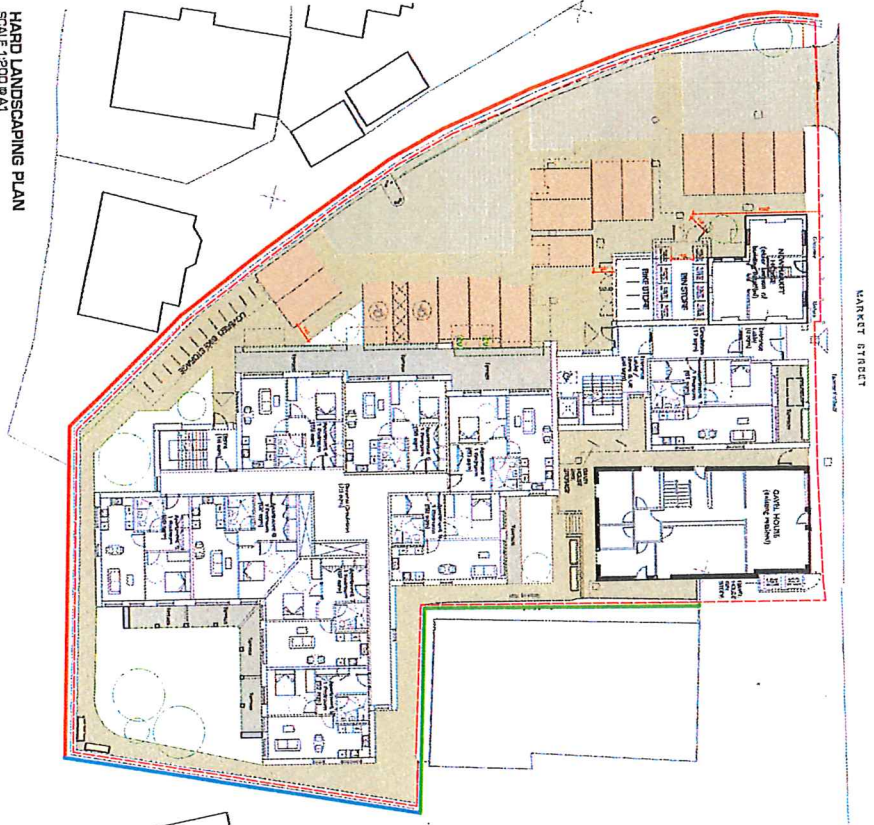
EXISTING BUILDINGS TO BE DEMOLISHED

1:200 @ A1



0688/SK110 INFORMATION
PROJECT ARCHITECTS
DRAWN
DATE The Estate Properties Ltd

DANCE
WILLIAMSON
ARCHITECTS
100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 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HARD LANDSCAPING PLAN
SCALE 1:200 @ A1

KEY

- RESIN BOUND GRAVEL TO PARKING AREA AND TERRACES
- BLOCK PAVING TO PARKING BAYS
- COMMUNAL BENCH SEATING

BOUNDARY TREATMENTS

- EXISTING RETAINING WALL RETAINED
- HEIGHT INCREASED IF NECESSARY - SUBJECT TO CHECKS OF FLOODING
- CLOSE BOARDED FENCING 1.8M
- HIGH TO RETAINING WALL
- RETAINING WALL WITH POST AND RAIL FENCING TO MATCH EXISTING



SOFT LANDSCAPING PLAN
SCALE 1:200 @ A1

KEY

- TURFED AREA / BORDER PLANTING
- GRAVEL / SLATE CHIPPINGS
- RAISED PLANTER TO TERRACE
- 1 PRUNUS BRASHNITZKYA ALBA (WINTER-LOWERING CHERRY)
- 2 ACER DAWSONI (ELBURN)
- 3 PRUNUS BRASHNITZKYA ALBA (WINTER-LOWERING CHERRY)

Market Street Apartments, Ledbury, Herefordshire

HARD AND SOFT LANDSCAPING PLANS

1:200 @ A1

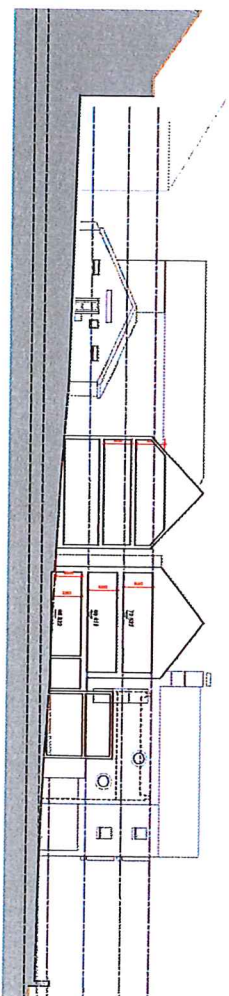
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0888/110101 PLANNING
The Estate Properties Ltd

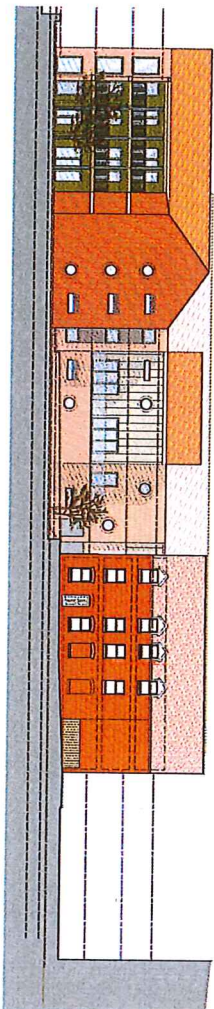
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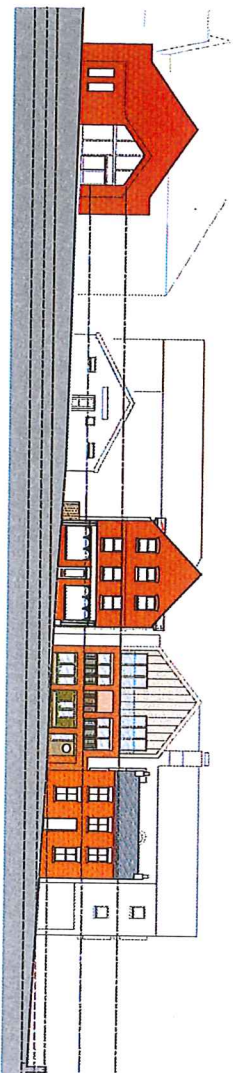
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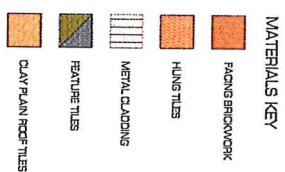
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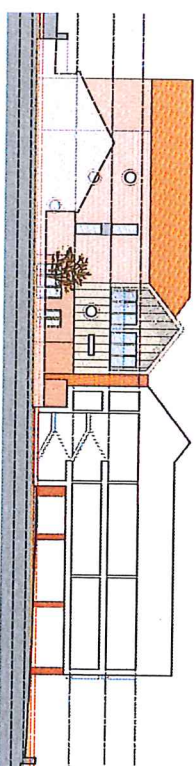
SOUTH ELEVATION
SCALE 1:200 @ A1



MARKET STREET ELEVATION
SCALE 1:200 @ A1



KEY PLAN



SECTION DD
SCALE 1:200 (P A1)

Market Street Apartments, Ledbury, Herefordshire

NOTES

PROPOSED SECTIONS AND ELEVATIONS 2

CONCLUSIONS

1:200 @ A1

MOULT

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06888/103(E) PLANNING
PROJECT AND DRAWING NO. STATE
DATE The Eades Properties Ltd

arni The Leades Properties Ltd

**DANIS
WAREHOUSE**
Digfa Babin
Digfa Road
Worcester
WRN5 2BW
tel 01905 358626
fax 01905 350469

Kleber
architects

1761



FIRST FLOOR PLAN
SCALE 1:200 @ A1



SECOND FLOOR PLAN
SCALE 1:200 @ A1

Market Street Apartments, Ledbury, Herefordshire

PROPOSED FIRST AND SECOND FLOOR PLANS

1:500 & 1:200 @ A1

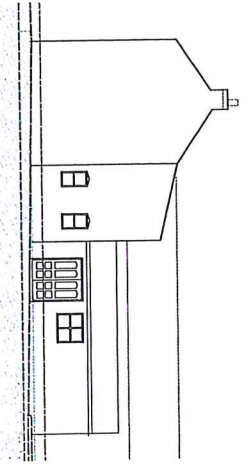
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0688/10171 **PLANNING**
PROJECT AND PREPARED BY
The Estates Properties Ltd

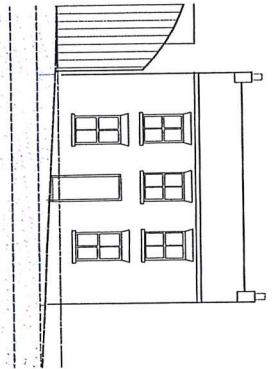
WAREHOUSE
Dale Road
Worcester
Worcestershire
WV1 1JH
Tel 01902 324012
Fax 01902 354819

kke
0121 115 255

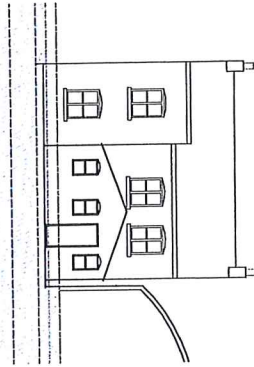
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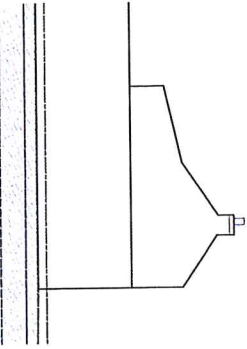
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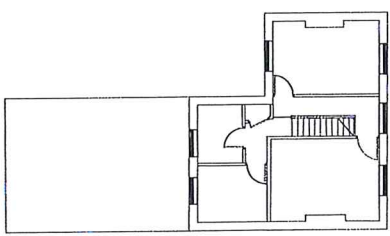
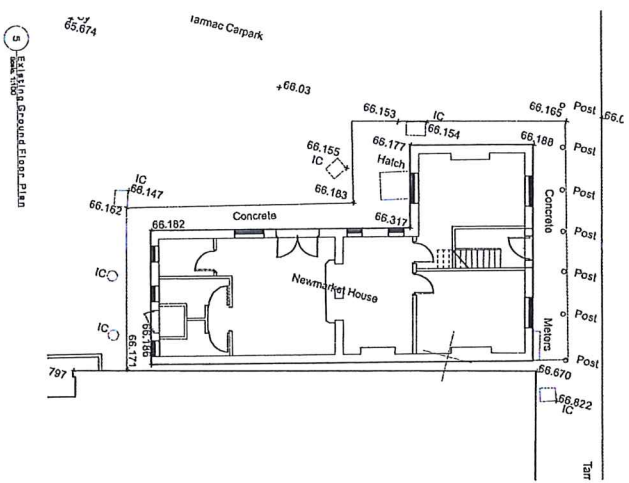
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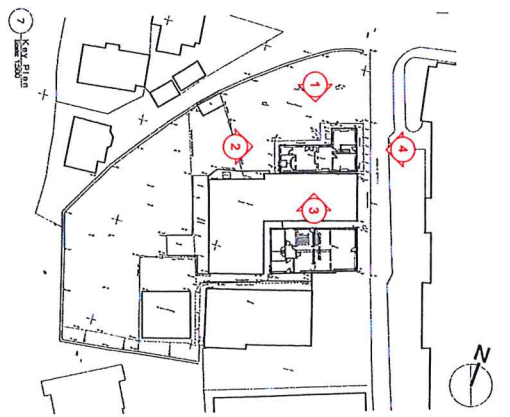
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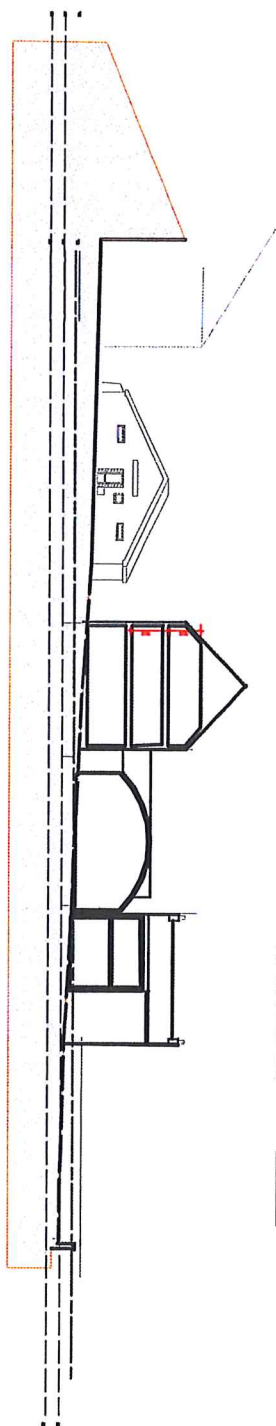
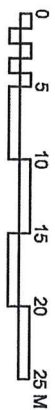
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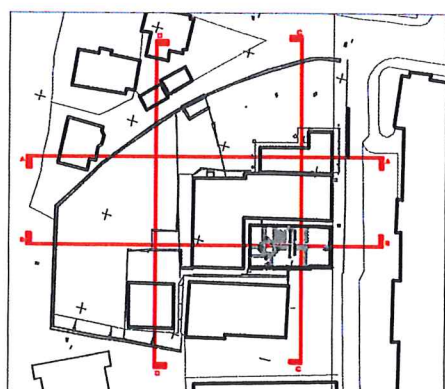
5 A.A. Elevation First Floor Plan
Scale 1:100



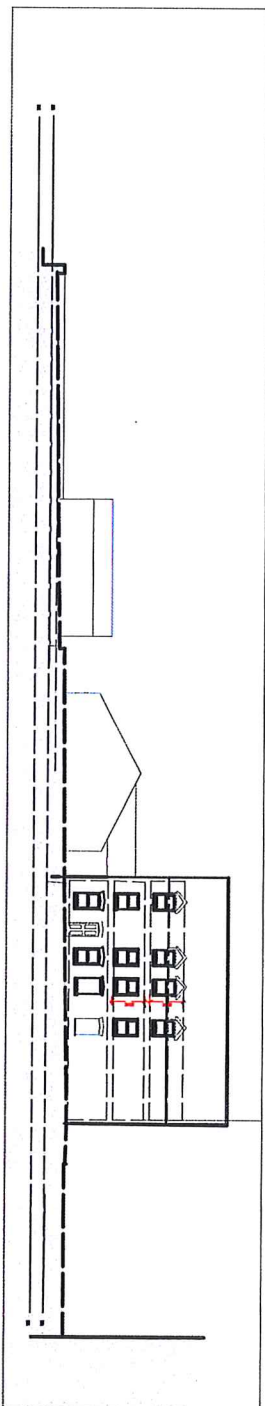
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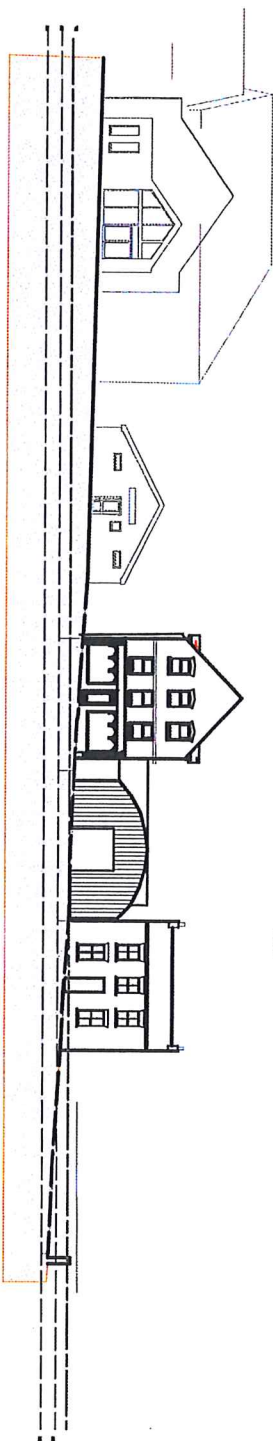
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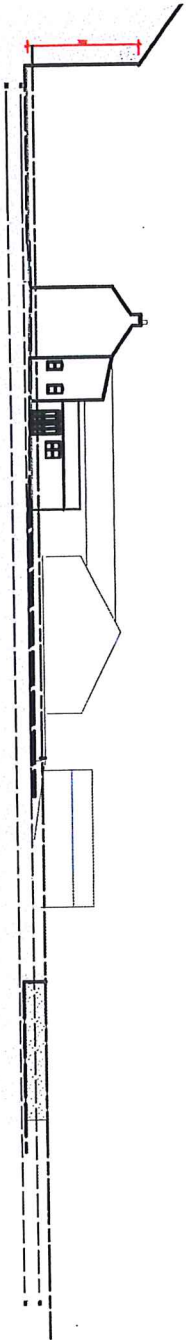
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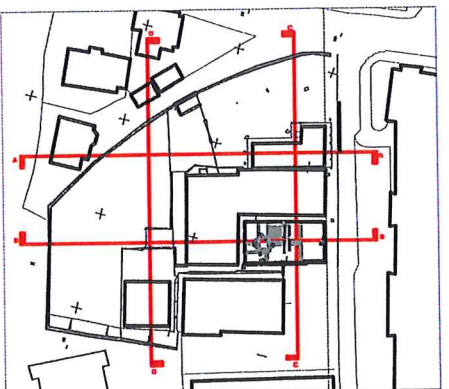
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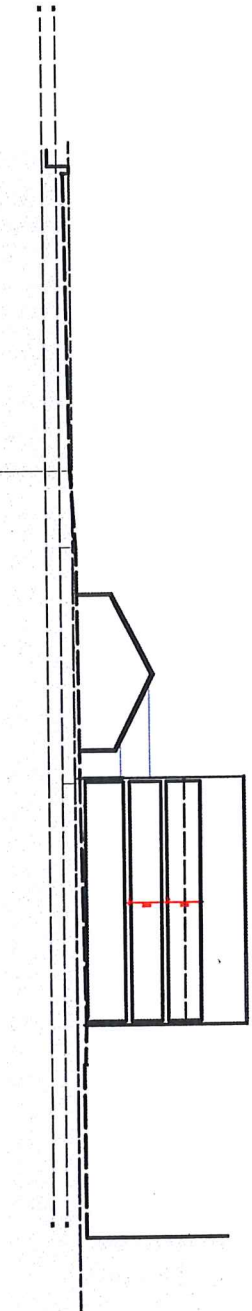
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Scale: 1:500



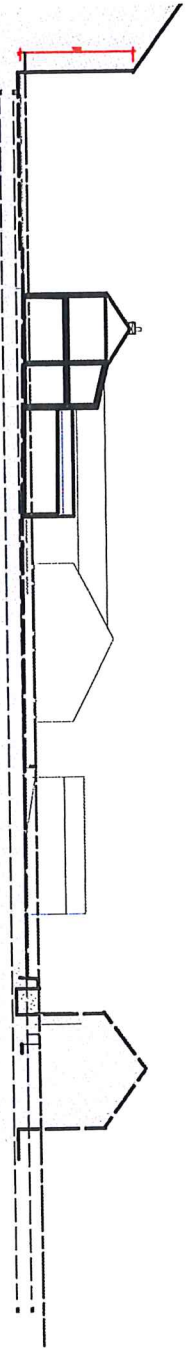
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4 Drawing Title
Scale: 1:1500

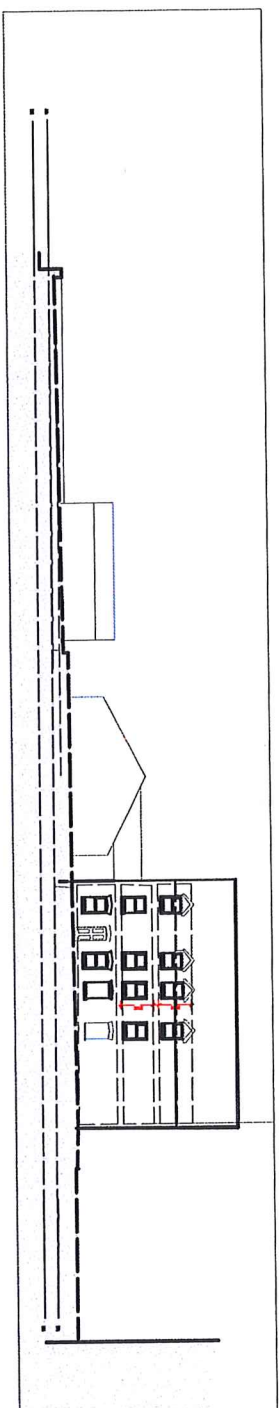
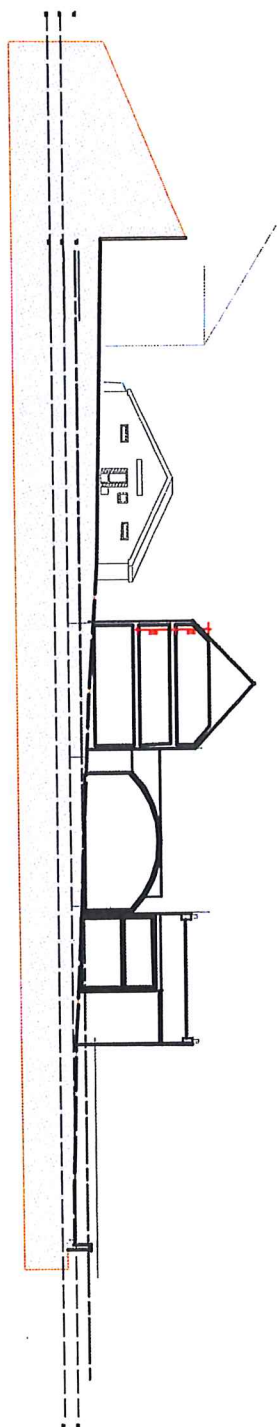


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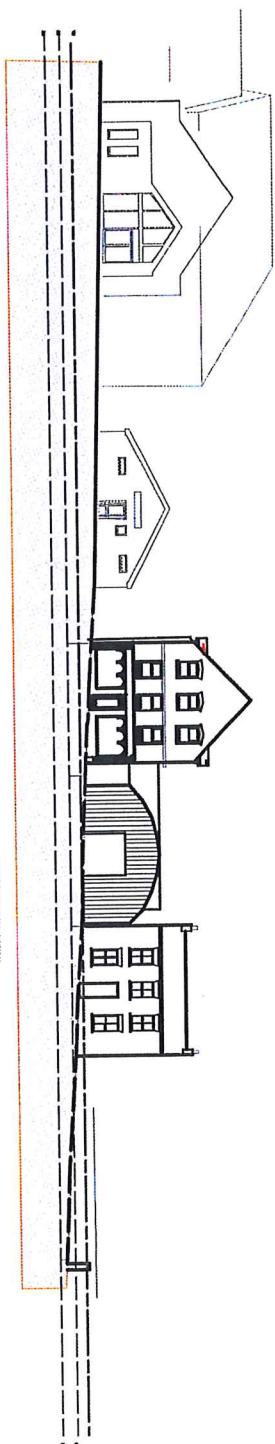


3 As Existing Section A-A
Scale: 1:500

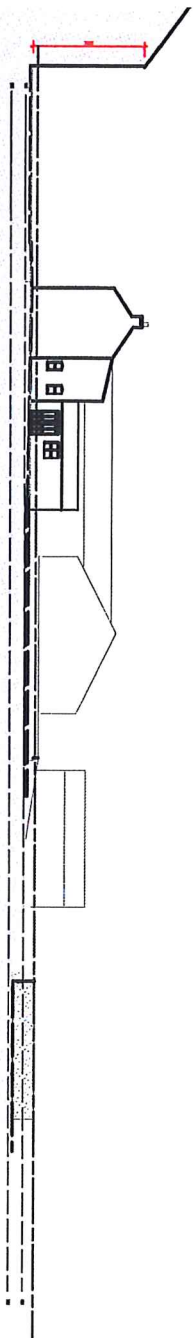
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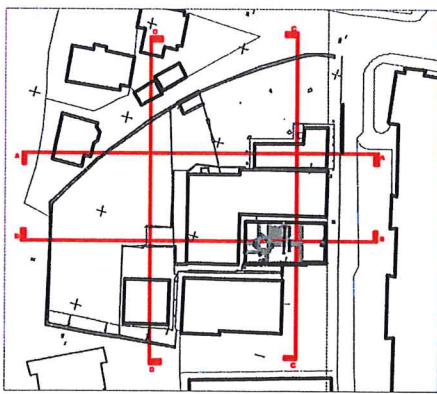
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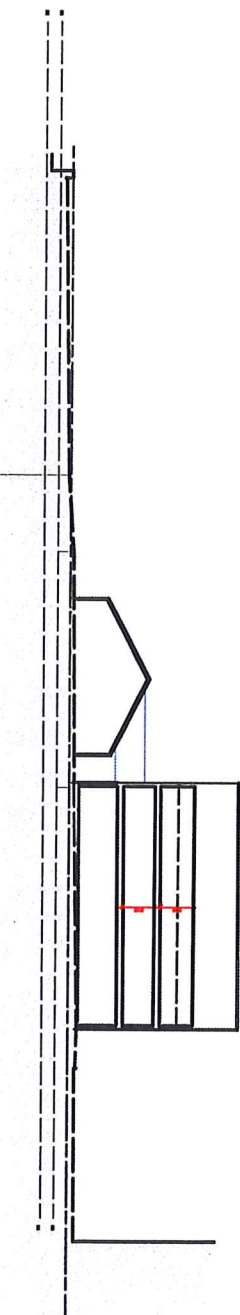
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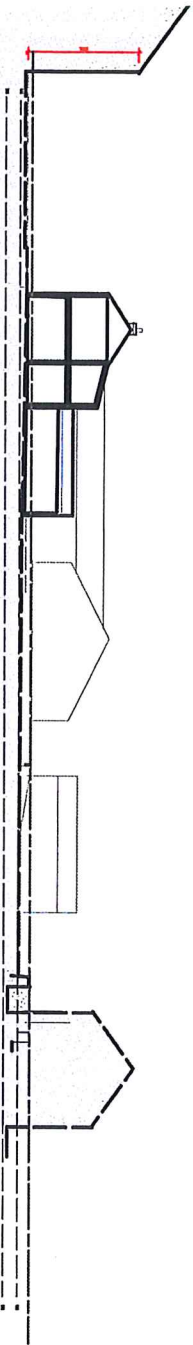
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Scale: 1:500



4 [Drawing Title]
Scale: 1:1500



2 As Existing Section B-B
Scale: 1:500



3 As Existing Section A-A
Scale: 1:500

1769

- 6.3 Application No. 210087 – Demolition of existing garden shed and the erection of a single detached garage and open sided car port – **22 Bramley Close, Ledbury, Herefordshire, HR8 2XP**

Attached:

- Current Plans
- Proposed Plans

This architectural drawing shows a side elevation of a building. The structure features a prominent gabled roof with a chimney on the left side. The facade includes several windows: a large double window on the left, a smaller single window below it, and two small square windows on the right. A balcony with a railing is visible on the right side of the building. The drawing is a line sketch, showing the basic form and proportions of the structure.

The Builder is to check, verify, and **BUILDING** and site dimensions, levels and lower
premise prior to the commencement of the works.

DO NOT make any of this drawing, work only to figure dimensions of **FI** **DOUBT** **AND**

The Builder is to comply with all aspects with current Building Regulations and British
Standards and Codes of Practice.

This drawing must be read and checked in conjunction with all related Structural
Components and must be checked and signed by the draughtsman and related.

Copyright of this drawing and of work associated item is reserved the property of **NUH**
ARCHITECTURE


Notes

REVISIONS		Date
No.	Description	Time
1	Updated to show existing property no 20	

TURNPIKE Architecture
 Chartered Architectural Technology : Building Design and Management Consultant
 BROOKLANDS HOPFON WAY/USC KIDDERINGSTON, SHROPSHIRE DY14 6BA

EXISTING PLANS + ELEVATIONS


Scales 1:50@A1	Date Nov 20	Drawn W
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M

1:50



CIAT

CONSEJO INTERMUNICIPAL

Drawing No

TPA.3017.01A

TPA.3017.01A

The ground floor plan shows a rectangular house with a large garage on the left side. The living area is adjacent to the garage, featuring a fireplace and access to a large outdoor area. The dining area is next to the living room, leading to a kitchen with a sink and stove. A bathroom is located near the kitchen, and three bedrooms are situated at the rear of the house. Two garden sheds are located outside, one near the swimming pool and another near the back of the property. The outdoor area includes a swimming pool and a paved section labeled 'swimming area and parking'.

GROUND FLOOR PLAN

...ing lumen diameter

1771

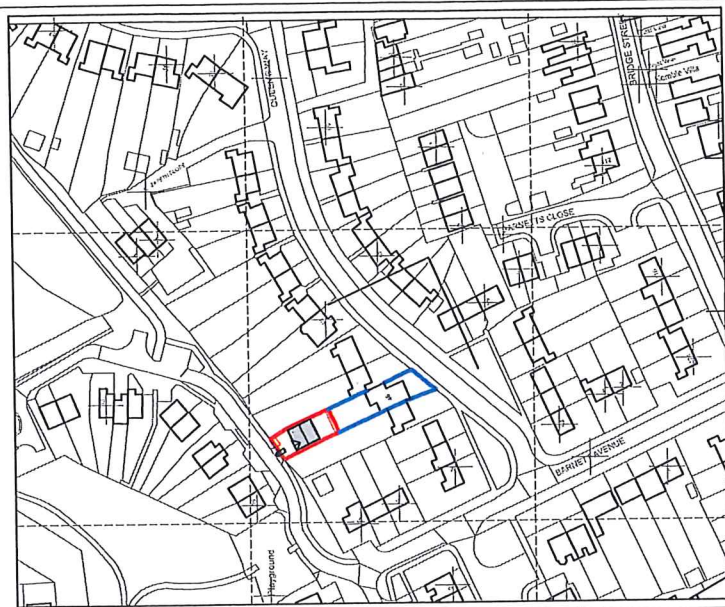
6.5 Application No. 210187 – Outline application for detached dwelling (infill plot) –
Land at 46 Queensway, Ledbury, Herefordshire, HR8 2AZ

At the time of preparing this report there were no representations objecting to this application. However, the attached representation from Highways advises that separate permission will need to be sought from the local highway authority in respect of amendments to the access to the site.

The Housing Officer, has advised that there is no requirement for this proposed unit to be affordable and if the LA were mindful to approve this application she has confirmed that there is a need for 2 bed units and bungalows are very sought after.

Attached:

- Site Block Plan
- Proposed new dwelling plan
- Highways Officer Representation



SITE LOCATION PLAN 1:1250

REVISIONS



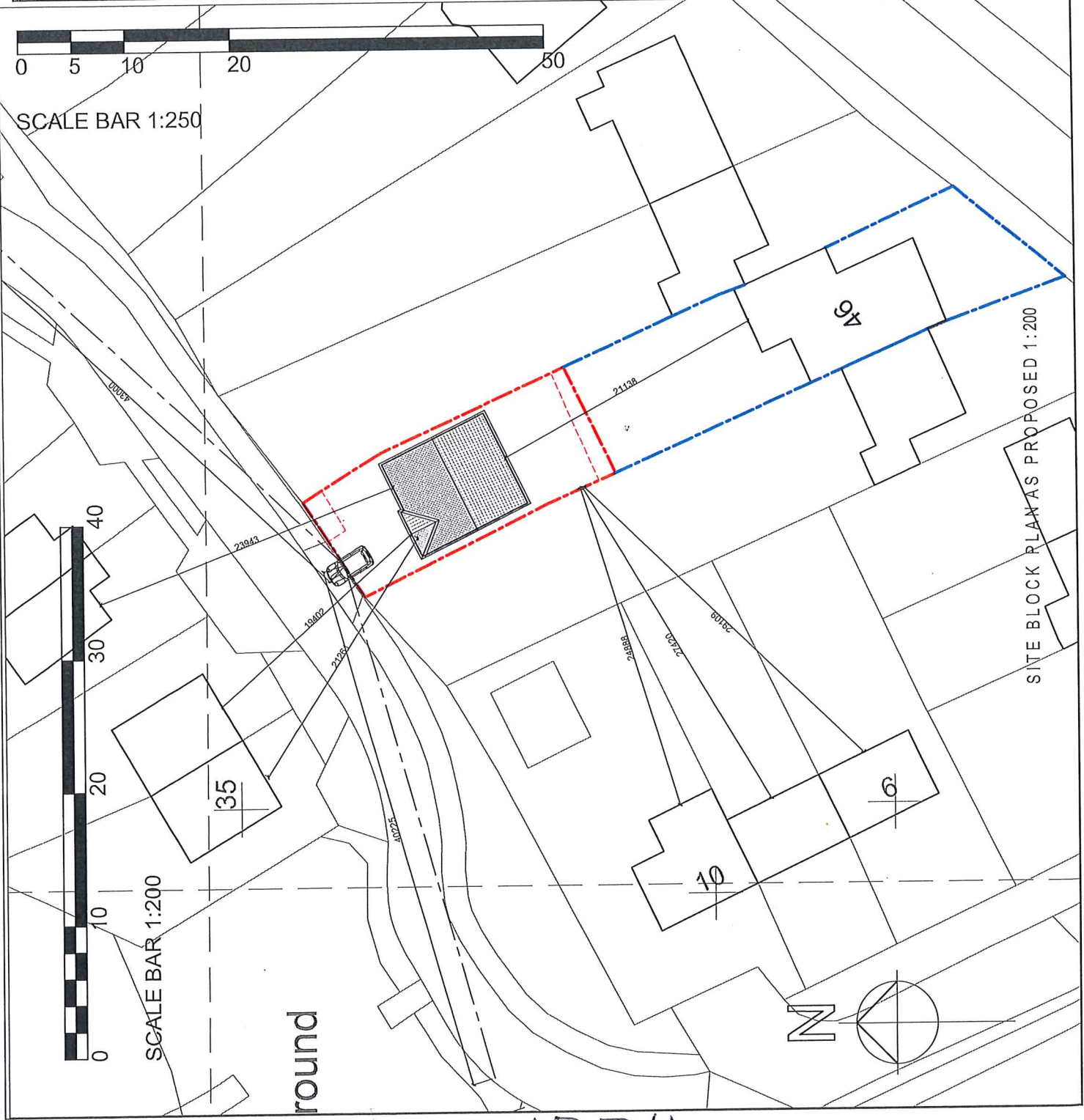
Walkergore
consulting

01531 650361
07572693204
pete@walkergore.co.uk
walkergore.co.uk
Oakview
6 Playley Green,
Redmarley, Gloucestershire,
GL19 3NB

Job	PROPOSED NEW DWELLING (INFILL)
Address	MRS. D. LEWIS 46 QUEENSWAY LEDBURY, HR8 2AZ
Drawing	SITE LOCATION & BLOCK PLANS
Date	OCT 2019
Scale	1:200 / 1:250
Job No.	WGCI023-02B



SCALE BAR 1:250



SCALE BAR 1:200

SITE BLOCK PLAN AS PROPOSED 1:200

1774

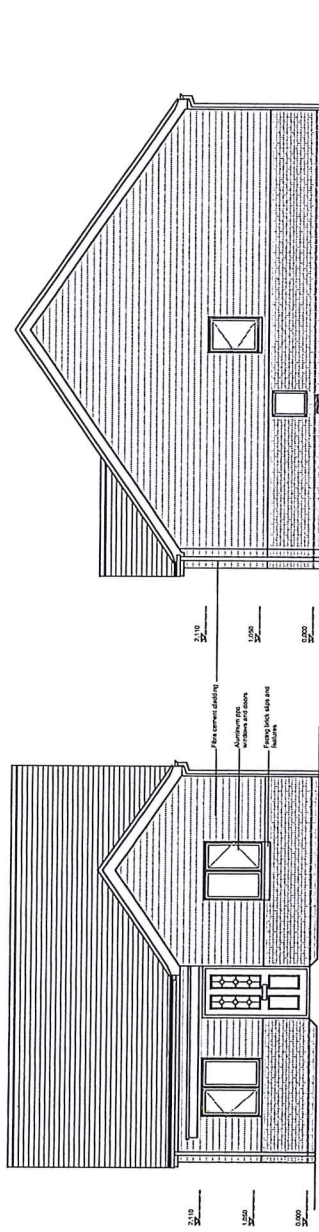
1775

2 Bedroom Retirement Bungalow
Footprint = 698 Sq ft - 64.9 Sq m

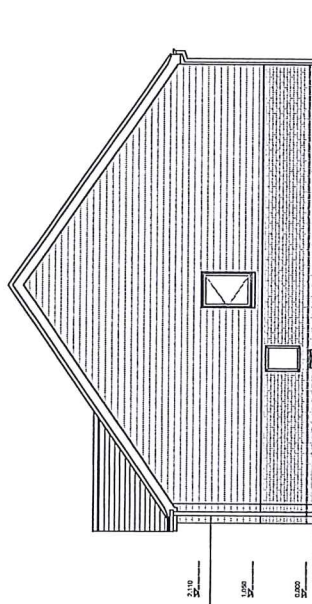
Materials;
Walls : Facing Brick slips and Fibre Cement horizontal cladding
Roofs : Plain Clay Tiles
Joinery : D/Grey uPVC Fascia, Soffit and Barge Boards
Windows : PPC Aluminium High Performance Windows



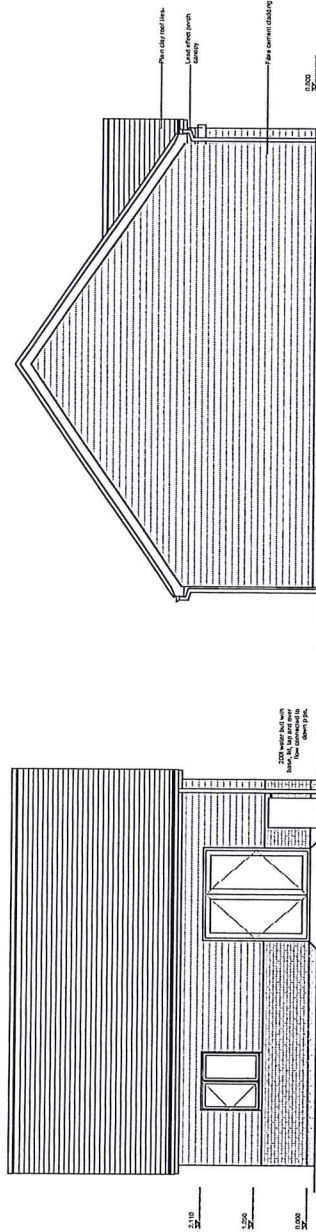
SCALE BAR 1:50



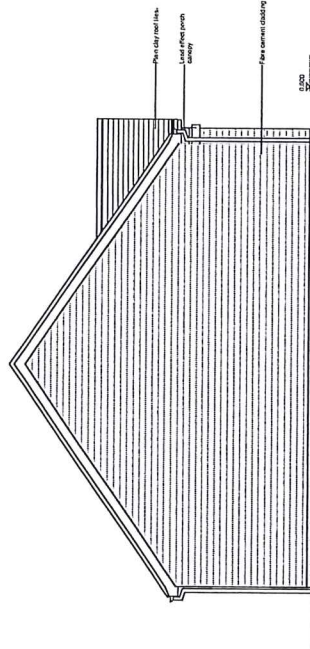
Front Elevation



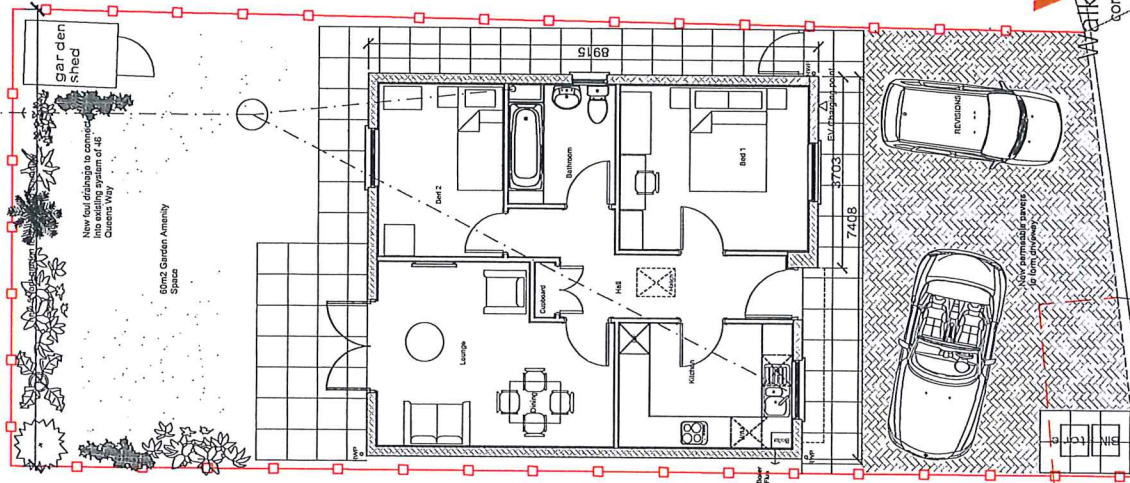
Side Elevation



Rear Elevation



Side Elevation



WalkerGore
consulting

01531 650351
01572559204
info@walkerGore.co.uk
walkerGore.co.uk

Oakview
Existing Crosswings Playway Green,
Redmally, Gloucestershire,
GL19 3JG

PROPOSED NEW DWELLING (INFILL)

Address
MRS. D. LEWIS
46 QUEENSWAY
LEDBURY, HR8 2AZ

Drawing
PROPOSED PLANS & ELEVATIONS

Date
OCT 2019

Scale
1:50

Job No.
WGCO23-01A

FLOOR PLAN LAYOUT

210187

MEMORANDUM

To : Internal Consultee – Transportation Department

From : Mr Josh Bailey, Planning Services, Plough Lane Offices.

Tel : 01432 261903 My Ref : 210187

Date : 22 February 2021 Your Ref :

SITE:	Land at 46 Queensway Ledbury, Herefordshire, HR8 2AZ
APPLICATION TYPE:	Outline
DESCRIPTION:	Outline application for detached dwelling (infill plot).
APPLICATION NO:	210187
GRID REFERENCE:	OS 370430, 237780
APPLICANT:	Dorothy Lewis
AGENT:	Mr Peter Gore

The proposal submitted includes an access to serve a single dwelling. The following observations are a summary of the highways impacts of the development.

The application is for an outline permission with some reserved matters. In highways terms this is the access provision. It is noted that the layout is to be considered at a later stage, however some of the comments relate to the layout to provide a complete assessment.

The access proposed meets the visibility requirements and the associated rationale is acceptable, taking into account the character and usage of the nearby highway network. The open frontage proposed provides a 2x2m pedestrian visibility splay is required in accordance with the Private Drives Section of Herefordshire Council's Highways Design Guide for New Developments.

The amendments required to form the access will require separate permission from the local highway authority. This is likely to be in the form of a Section 184 Licence and details of this can be found by following the link below. To ensure any amendments to the highway are made in accordance with the LHA requirements condition CAE is recommended.

The dimensions of the driveway are adequate for the scale of the development. The parking provided equals or exceeds one 2.4m x 4.8m space per bedroom to a maximum of 3 spaces. Whilst this is a layout consideration it is clear there is sufficient room to adequately accommodate this parking in the residential estate. It is also recognised that cycle parking outlined is adequate for the scale of the development.

The following link may assist the applicant in discharging conditions:

https://www.herefordshire.gov.uk/downloads/download/585/highways_and_new_development

For any works within the extent of the highway permission from the LHA will be required. Details of obtaining this permission can be found at:

https://www.herefordshire.gov.uk/downloads/download/368/dropped_kerb_documents

There are no highways objections to the proposals, subject to the recommended conditions being included with any permission granted.

In the event that permission is granted the following conditions and informative notes are recommended.

All applicants are reminded that attaining planning consent does not constitute permission to work in the highway. Any applicant wishing to carry out works in the highway should see the various guidance on Herefordshire Council's website:

www.herefordshire.gov.uk/directory_record/1992/street_works_licence
<https://www.herefordshire.gov.uk/info/200196/roads/707/highways>

Recommendations:

<input type="checkbox"/>	No Highways Objection – No Conditions Required
<input checked="" type="checkbox"/>	No Highways Objection – With Conditions (List Conditions Below)
<input type="checkbox"/>	Additional Information or Amendment Required
<input type="checkbox"/>	Highways Objection (List Reasons Below)

CAB - Visibility Splay Required As Per Submitted Drawing

CAE - Access Construction Specification

Returning Area Engineer:

<input checked="" type="checkbox"/>	M. Lewis
<input type="checkbox"/>	J. Tookey-Williams
<input type="checkbox"/>	K. Jones
<input type="checkbox"/>	A. Mukhtar
<input type="checkbox"/>	WSP
22/02/2021	Date Returned

1777

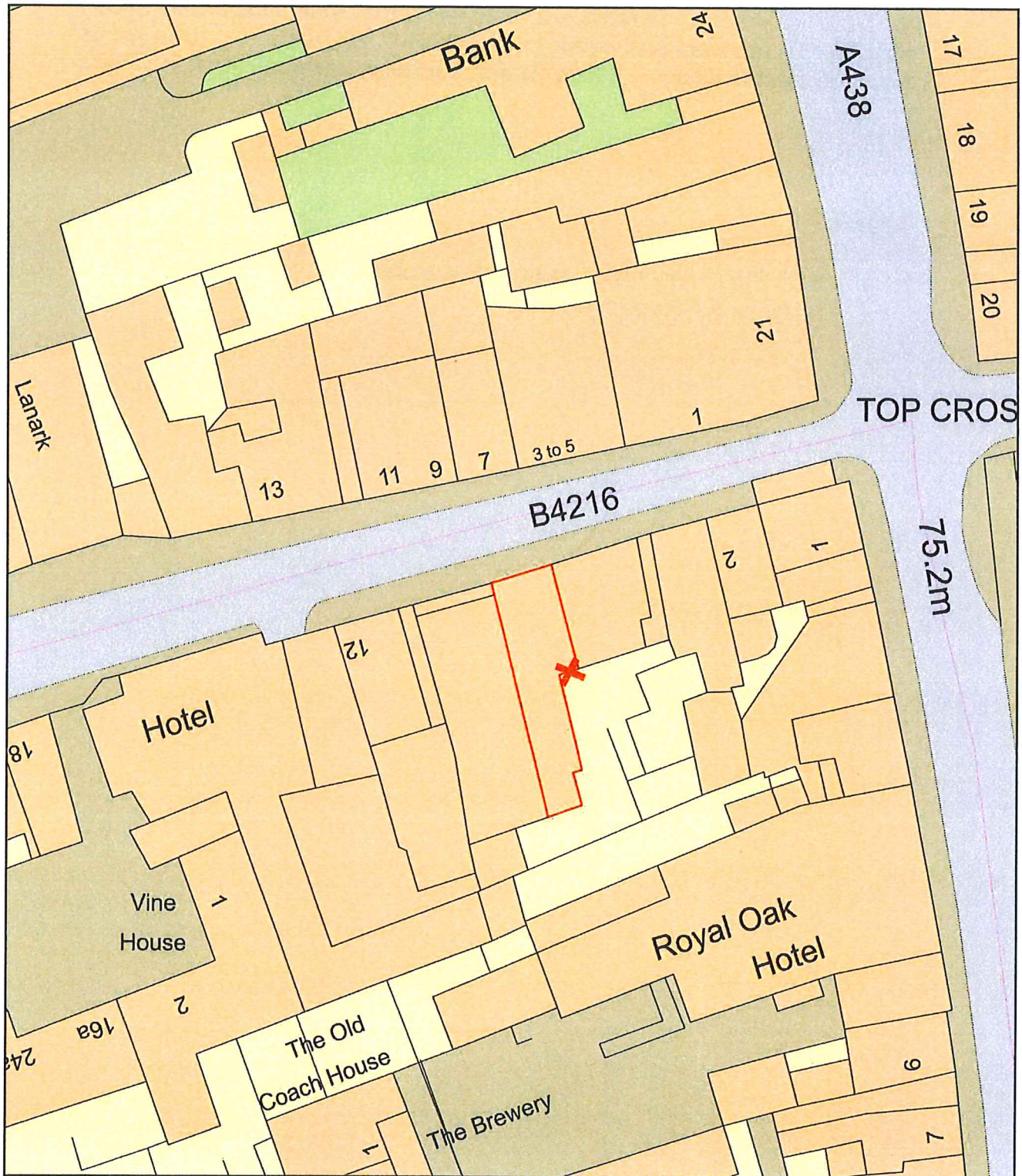
- 6.5 Application No. 2102717 – To drill a 350mm hole in the kitchen wall (extension) for extraction ducting. To remove a section of timber floor to expose an existing stairwell. To renovate and repair the cellar floor and walls. To replace PVC door and window fittings – **8 New Street, Ledbury, Herefordshire, HR8 2DX**

Attached:

- Block Plan (Identifying position of new door)
- Design and Access statement

Block Plan - 8 New Street

210271



0 20
Metres

Plan Produced for: Nicholas Sims
Date Produced: 20 Jan 2021
Plan Reference Number: TQRQM21020163514945
Scale: 1:500 @ A4

Red Cross
indicates the
location of the
external PVC
door



1779

Introduction

This document is a combination of the Design and Access statement, and the Heritage statements. Given the small nature of the works proposed it seemed prudent to combine them in this way. It has been prepared to support the application for Listed Building Consent in relation to the proposed works at 8 New Street. For ease of reading, the first sections of this document are general, with the specific detail for Design and Access, and then Heritage, following on.

The guidance I have received for this document has emphasised a need for it to be of an appropriate length. Accordingly the sections that are not as applicable to the proposed work have been kept brief.

The pre-application advice referenced throughout this document was supplied by Mr Matthew Neilson. I have written this document on the advice contained within the pre-application advice.

Background

Nos. 6 & 8 New St. formally a single unit, now subdivided into two separate properties. It is a C17 timber framed structure which has been extensively altered and extended over time. Most notably it was re-fronted in brick in the C18 and a Victorian shop front was inserted in the C19.

Design proposals

The aim of the works is to prevent further deterioration of the building's fabric, improve the viability of the space as an A1/A3 mixed class usage and to highlight the varied history of the building.

1. The Cellar

The cellar of the building (see plan 1 and photograph 1) is a mixture of brick and rubble stone walls. It has a few features of interest, such as a barrel ramp (photograph 2), and a stone spiral stairway (photograph 3) and the floor is brick laid on earth. As you can see from the photographs, the room is currently suffering from damp and the wall in one place is open through to underneath the property next door (photograph 4). The proposal is to lift the floor, level it, and lay a limecrete base with underfloor heating, before re-laying the existing floor. This will increase the viability of the room, as the floor will be level, and decrease the issues with damp, by having low level heating on top of a permeable substrate. The hole in the wall will be bricked in with appropriate materials, matching the existing bricks as much as is possible, subject to the investigation of the floor timbers suggested by our pre-application advice. The cellar will then be fully cleaned using appropriate and non-damaging materials, highlighting the original features and making it a usable dry space once again. The existing clay vents will be cleared of obstructions to provide adequate airflow.

2. The stairway

The spiral stairway mentioned above has at some point been floored over (photograph 7). The current access is via a trapdoor and a ladder. The floor over the stairway is of a different pattern to the rest of the floor, and so it can be assumed has been added at a later date. We propose to remove only the floorboards that have been added later, allowing use of this interesting historical feature once more.

3. Extraction hole

The kitchen extension to the rear of the property, constructed of brick, is a later addition likely constructed at the same time the building was refronted in the 18th Century. This section of the building has undergone numerous alterations as indicated through the change in brick pattern (photograph 5). Internally the kitchen is suffering from damp and mould (photograph 6); This has likely been caused by its use as a cooking space without any mechanical ventilation. We propose to install an extractor hood in the kitchen space which would exit the building to the right of the external kitchen door (red circle - photograph 5). A 310mm hole would accommodate a standard duct. We will not be using any plastic fittings, with the grill on the outside of the building being metal.

4. Windows and Doors

It was pointed out to us in the pre application advice that all of the external windows and doors to the rear of the premises have been replaced with PVCU fittings at some point (photograph 5). This is not in keeping with the building's history and so we propose to replace them with timber framed fittings instead. We will aim to match the appearance of the front door (which opens onto New Street) where this is appropriate, as this is a timber door and frame.

Design and Access

Access

In its current state, the cellar is only accessible via a trapdoor and a ladder. This is not only unsafe to climb down, given that the ladder rests on an uneven floor, but also necessitates the opening of a trapdoor across the floor of the space, rendering it unsafe for people above as well. By opening up the original stairway, the cellar will be safer to access for both employees and customers. By leveling the floor in the cellar it will reduce tripping hazards once down there.

Appearance

In every way possible all of the materials used, and the way that they are used, will match the appearance of the building. For example, the infill in the wall in the cellar will use bricks that match the rest of the wall in appearance, colour and size. Where we have to make decisions, we will make things look in keeping with the period of the material around it. Given

the fact that this building has been extended and altered over many different centuries, this will be different in each case. For example, the extractor fan hole will be finished with mortar similar to that used in the brickwork around it; and where we are removing floorboards, the edges will be finished in timber, appropriate to the timber floor around it.

Landscaping

None of the proposed work will have an effect on the landscape around the premises.

Layout

The layout of all rooms will stay the same. A slight change in headheight may occur in the cellar, due to the floor being leveled, however we are not intending to drop the floor lower than it's current lowest point.

Scale

The works proposed are localised to the rooms mentioned, with most of the building's fabric left undisturbed.

Heritage

8 New Street is listed along with #6 – the listing states:

C18 front to earlier timber-framed structure. Painted brick. Brick dentil eaves. 2 storeys. 6 windows (1 blocked). 2 and 3-light casements, 1 sash with cambered head. No 6 has modern shop and No 8 Victorian shop of 12 lights and moulded cornice Round-arched passageway to left. Old tile roof with gable ends. RCHM(85). Nos 2 to 8 (even), form a group. with No 1 the Southend.

In the introduction section above, I outlined in brief the architectural history of the building. It has had a varied past, which we would like to better preserve and display. I have also outlined what work we are proposing. Here I am going to assess how the later impacts the former. For each of the proposed works, I will first address the negative impact, then the positive, looking at what justification there is for the proposed works.

1. The Cellar

The lifting of the floor will result in minimal damage to the bricks. They are not mortared or set in anything, so should be easy to lift without damage. Where bricks are in a state of disrepair that is seen as dangerous, they will be replaced with bricks of similar shape and

colour. The repair and cleaning of the walls has the potential to cause the loss of historic fabric in the way of mortar. Any cleaning products used will be safe to use with lime mortars, and will not strip the surface of brick or stone. All water will be kept at low pressure and any mechanical cleaning will be appropriate to the material being brushed. Great care will be taken to only remove material that is severely degraded or dangerous.

Good airflow and a constant temperature in the region of 14°C is the best way to prevent degradation to the cellar and the building above. By unblocking vents and introducing low level underfloor heating to the space, it will prevent further build up of damp and its associated problems. The limecrete substrate will allow moisture to flow naturally.

2. The Stairway

Lifting the floorboards will result in loss of fabric. The fabric lost however is assumed to be more recent than the rest of the floor, as it is laid in a different pattern (photograph 7).

By removing it, the stone spiral staircase will be able to be seen and used. As an interesting historical feature of the building, it will be an asset and speak to the building's varied past.

3. Extractor hole

Drilling through the wall will result in the loss of some historic fabric. Some of the bricks and mortar are part of the C18 extension.

The hole will be positioned to limit damage to these bricks, and aim to remove as many of the newer bricks (red circle - photograph 5) as possible. With increased ventilation, the space inside will not only conform to modern food and hygiene standards required of a commercial kitchen, but will prevent the build up of moisture and oils in the building that are currently causing issues such as mold (photograph 6).

4. Windows and doors

The plastic doors and windows currently in place are not historical by nature. Their removal will not result in the loss of any historic fabric.

Replacing them with timber framed doors, in keeping with the history of the building will add to the appearance of the premises, and its historical context.

Photographs and plans

1.

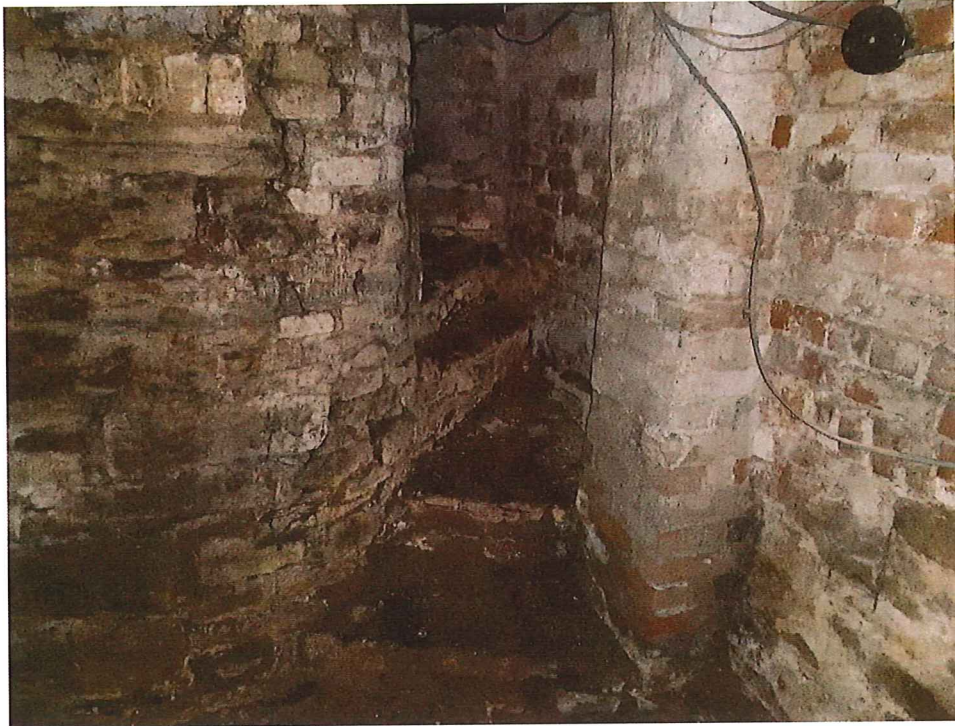


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1784

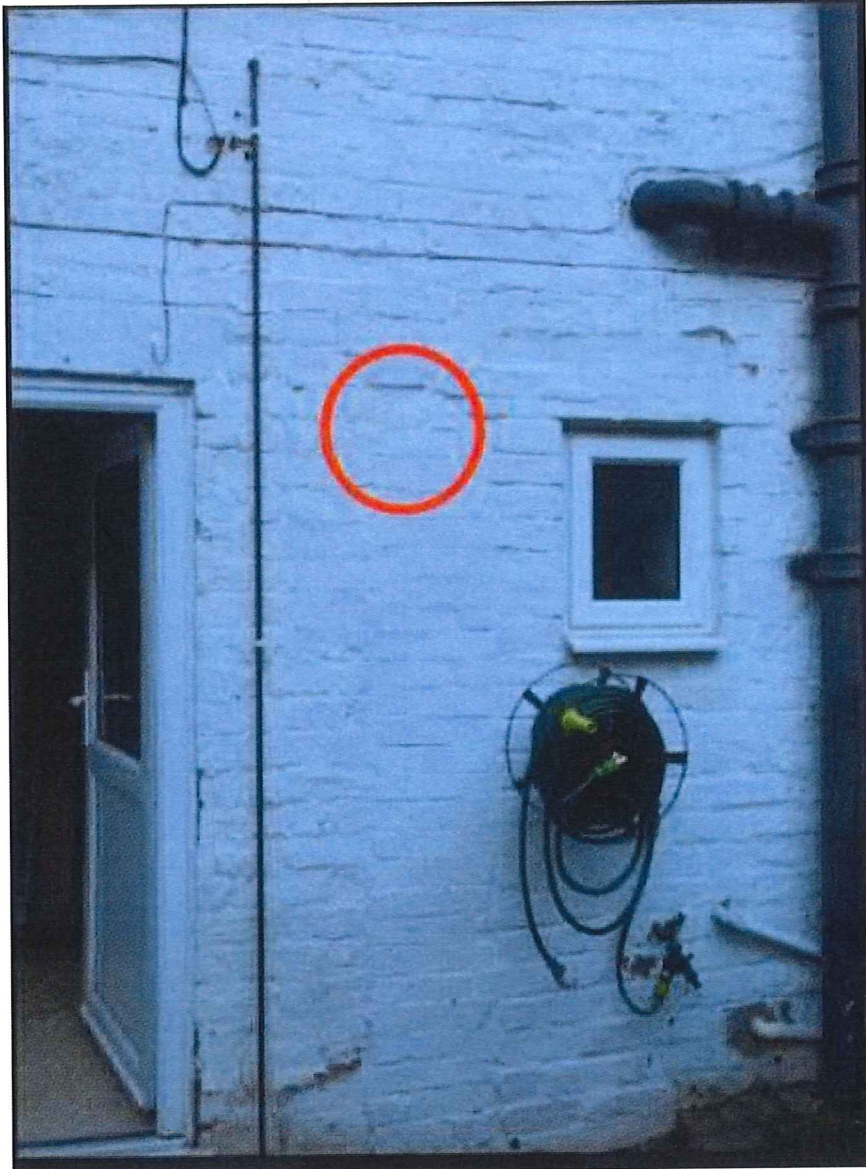
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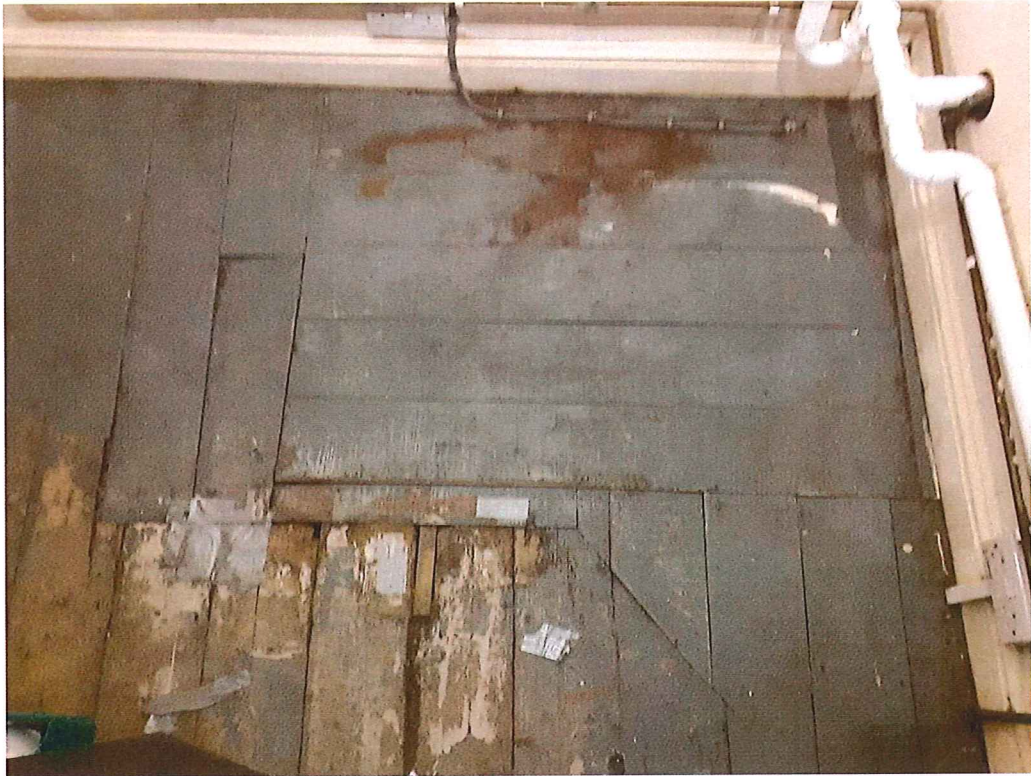
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6.



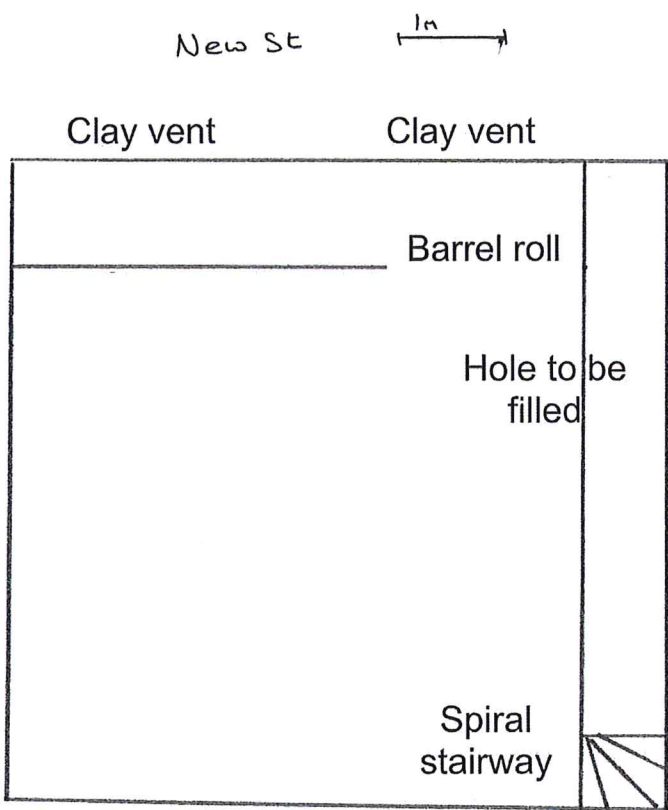
1787



7.

1788

Cellar plan



Planning Decisions Log

Planning App	Details	Case Officer	LTC's Recommendation	HFDS Decision
LTC MEETING DATE 9 January 2020				
<u>P194103</u>	Proposed extension of existing service staircase enclosure to enable installation of new lift at Netherhall, Church Street Ledbury Herefordshire HR8 1DJ	AM	Councillors made no comment	No Decision
<u>P194114</u>	Proposed extension of existing service staircase enclosure to enable installation of new lift at Netherhall, Church Street Ledbury Herefordshire HR8 1DJ	AM	Councillors made no comment	No Decision
LTC MEETING DATE 13 February 2020				
<u>200017</u>	T1: Oak (overhanging bus stop) remove deadwood throughout canopy to prevent risk of branches falling.	OK	No Objections	No Decision
LTC MEETING 12 November 2020				
<u>194114</u>	Proposed extension of existing service staircase enclosure to enable installation of new lift at Netherhall, Church Street, Ledbury, HR8 1DJ	RJ	No Objection	No Decision
202570	Proposed replacement of metal framed windows and uPVC front door to street facade only with painted timber casement windows at - Mistletoe Cottage, 73 The Homend, Ledbury, Herefordshire, HR8 1BP	MN	No Objection	No Decision
<u>203223</u>	Proposed detached 3-bedroom agricultural workers dwelling at - Land adjacent The New House, Old Kennels Farm, Bromyard Road, Ledbury, Herefordshire HR8 1LG	OJ	No Objection	No Decision
LTC MEETING 10 December 2020				
<u>203822</u>	Proposed works to broadly encompass the rebuilding of an external boundary wall following extensive damage caused by ground heave due to proximity to mature trees. The works will include rebuilding the wall on a like-for-like basis, embedding a sacrificial timber fence – 22 The Homend, Ledbury, Herefordshire, HR8 1BT	MN	No Objection	Approved with Conditions

203823	Proposed works to broadly encompass the rebuilding of an external boundary wall following extensive damage caused by ground heave due to proximity to mature trees. The works will include rebuilding the wall on a like-for-like basis, embedding a sacrificial timber fence – 22 The Homend, Ledbury, Herefordshire, HR8 1BT- Listed building consent	MN	No Objection	Refused
203847	Ground floor extension to provide accessible kitchen facilities – 126 Biddulph Way, Ledbury, HR8 2XL	MN	No Objection	Approved with Conditions
LTC MEETING 14 January 2021				
204154	Proposed change of use of part of basement, ground & first floor levels from Class E to 4 Class C3 dwelling houses; with associated external alterations. Part of basement, ground & first floor 24 High Street Ledbury Herefordshire HR8 1DS		204154 in line with the NDP policy EE3.1 :	No Decision
204508	Application for variation of condition 10 of planning permission NE1999/2305/F (Refurbishment of existing household waste site, including extension into adjacent land, for the importation, handling, sorting, screening and temporary storage of waste materials). To allow the Household Recycling Centre (HRC) to be open for longer hours on a Sunday in order to allow greater capacity to a growing population and in order to provide consistency in opening times across all HRCs in Herefordshire. Household Waste Disposal Site Little Marcle Road Ledbury Herefordshire HR8 2DR	MN	No Objection	No Decision
LTC MEETING 11 February 2021				
204336	Proposed extension to existing auction house – Hazle Meadows Auction Centre, Ross Road, Ledbury, HR8 2LP	MN	No Objection	No Decision
204363	Proposed side and rear extension, and new entrance porch – Orchard House, New Street, Ledbury, HR8 2EL	MN	No Objection	No Decision
204518	Proposed construction of access track with parking and turning area adjacent to existing stabling – Wood House, Staplow, Ledbury, HR8 1NP	MN	No Objection	No Decision

204554	Proposed extensions to the rear and the side of the property and removal of existing flat roof and construction of a new pitched roof – 12 Lambourne Close, Ledbury, Herefordshire, HR8 2HW	EB	No Objection	Approved with Conditions
204558	Change of use of buildings (barns 1 and 5) from agriculture to two dwelling houses, associated demolition (barns 2, 3 and 6) and erection of a domestic outbuilding – Barns at Siddington Farm Leddington, Ledbury, Herefordshire	JB	No Objection	No Decision
204559	Change of use of buildings (barns 1 and 5) from agriculture to two dwelling houses, associated demolition (barns 2, 3 and 6) and erection of a domestic outbuilding – Barns at Siddington Farm Leddington, Ledbury, Herefordshire – Listed Building Consent	JB	No Objection	No Decision
204565	Alterations to approved application no. 202911: New chimney added to south-west elevation – Spindle Cottage, Upper Mitchell, Ledbury, Herefordshire, HR8 1JG	JB	No Objection	No Decision
210045	Repair/reconstruction of wall forming boundary to listed building – Barn House, 23 New Street, Ledbury, HR8 2DX	MN	No Objection	No Decision
210046	Repair/reconstruction of wall forming boundary to listed building – Barn House, 23 New Street, Ledbury, HR8 2DX – Listed Building Consent	MN	No Objection	No Decision

LEDBURY TOWN COUNCIL

**NOTES OF A MEETING OF THE
MAJOR PLANNING APPLICATIONS & CONSULTATIONS WORKING PARTY
HELD ON
22 FEBRUARY 2021**

PRESENT: Councillors Bannister (Chair) and Howells
Non-Councillors – Nicola Ford and Caroline Green

26. APOLOGIES FOR ABSENCE

Apologies were received from Councillor Phillip Howells.

27. DECLARATIONS OF INTEREST (Councillors only)

None received.

**28. NOTES OF A MEETING OF THE MAJOR PLANNING APPLICATIONS &
CONSULTATIONS WORKING PARTY HELD ON 11 AND 26 JANUARY 2021**

RESOLVED:

That the notes of the meeting of the Major Planning Applications & Consultations Working Party held on 11 and 26 January 2021 be received and noted.

**29. APPLICATION TO DEVELOP A LIDL SUPERMARKET, NURSERY AND
POSSIBLE SURGERY, LEADON VALE DEVELOPMENT – REFUSED BY
PLANNING AUTHORITY**

Caroline Green advised members that many residents had taken to social media to express their concerns with the advertising of the Deeley application. She advised that many residents felt Herefordshire Council website did not make applications easily available.

Councillor Harvey advised that members of the public can sign up to planning alerts on the Herefordshire County Council website to keep up to date with all applications in Ledbury. Whilst she agreed that it would be useful to have more information on the town council website, it is the resident's responsibility to make comment on applications through the Herefordshire Planning website.

Councillor Bannister was surprised with some of the comments on the planning portal, including that Ledbury Town Council had no business sending letters to Ledbury Traders. He agreed that going forward all planning applications should be posted on the website with deadlines.

30. **APPLICATION NO. 203535 – 2nd PHASE FOR THE ERECTION OF 46 DWELLINGS AT LAND TO THE SOUTH OF LEADON WAY (Barratts)**

The Clerk advised Members that the Barratts application no 203535 had been refused.

Councillor Bannister advised members that he had spoken to Carl Brace and that the main reason for refusal was noise issues. He also noted that 3 residents residing on a nearby Barratts Estate had already made noise complaints.

Nicola Forde asked whether the planning applications could be posted onto the Town Councils website. The Clerk advised that the front cover of the Economic Development and Planning agenda which displays planning applications and deadlines, could be posted onto the Councils social media.

31. **BOVIS HOUSING DEVELOPMENT – 140 DWELLINGS, LEADON WAY, LEDBURY**

Councillor Bannister advised members that there had been discussions on providing Bovis Homes with council owned land to provide good routes from the development into the town. He explained to members that the Council were awaiting a valuation of the land before a decision could be made.

The Clerk advised that due to lockdown the valuation of land had been postponed. In the meantime, the Estate Agent has asked for Deeds of the land that the council want valued. The Clerk advised that she had spent some time going through the safe and that she had found paperwork that she will deliver to the solicitor for clarification.

Councillor Harvey suggested speaking to the Councils former bank, Lloyds to ask whether they hold further documentation of the council's assets on behalf of the Council. She also informed members that she would make enquiries with Herefordshire Council in relation to the land registry.

RESOLVED:

That the update on Bovis Homes be received and noted, noting that the Town Clerk continue to arrange a valuation of the councils' assets.

32. **UPDATE ON VIADUCT INQUIRY**

Councillor Bannister advised members that the Council had sent a letter to the MP, Bill Wiggin, identifying and summarising the Council's case for why a second access to the Viaduct site is desirable and necessary and that he refuse the appeal to allow a single access only, but confirm he will agree to the development on condition that a second access is included in any planning application.

RESOLVED:

That the update on the Viaduct Inquiry be received and noted.

33. REQUEST FROM GLADMAN

Members were provided with a letter from Gladman in relation to the Land at Dymock Road and the benefits that they could provide the community.

Councillor Bannister informed members of a conversation between Planning Officers at Herefordshire Council and Councillor Howells. It was stated that Herefordshire Council would only agree to the development going ahead if Ledbury Council decided to include the land into the settlement boundary and allocate it.

There was a lengthy discussion on whether the council should meet with representatives from Gladman to discuss their request to develop on the Dymock Road and the sporting facilities they could provide Ledbury. It was agreed that the Council would not agree to a meeting due to the policy in the Neighbourhood Development Plan and work that went into the appeal to reject the planning application previously.

Councillor Harvey reminded members that the Economic Development Committee had already discussed the request from Gladman and that it was agreed that the Town Clerk contact Planning Officers to ask for advice on meeting Gladman. She suggested that the Council refer the developers to the Neighbourhood Development Plan and that in the meantime, if Gladman want to respond to call for sites, they can come forward with their suggestions.

RESOLVED:

That the update on the Gladman request be received and noted.

34. APPLICATION P194182/F - LAND TO THE REAR OF THE FULL PITCHER, NEW STREET, LEDBURY - CREATION OF 93 NEW DWELLINGS WITH ASSOCIATED ACCESS AND PARKING

Whilst the planning application had already been approved, Councillor Harvey updated members on the history of the application advising that this was an application that had been proposed a number of years ago.

The original planning application had been submitted with 40% of the housing being social housing, however this had since been amended to 100% affordable housing.

35. **APPLICATION P204577/F AND P204578/L FORMER AUCTION ROOMS MARKET STREET, LEDBURY, HEREFORDSHIRE – PROPOSED REDEVELOPMENT OF THE FEORMER AUCTIONS ROOMS SITE TO PROVIDE 31 NEW APARTMENTS.**

Councillor Bannister advised that the deadline to make a comment on the above application was recorded as 8 March 2021. However, in conjunction with the Town Clerk, it was decided that the Council should request an extension to allow the Economic Development and Planning Committee to discuss the application. He informed members that the new deadline for comments would now be 1 April 2021 and that it should be advertised on the council's website for members of the public to make comment.

Councillor Bannister believed that the current NDP supported developments similar to the application, however felt that the proposed design of the apartments did not match existing buildings in the town.

Nicola Forde agreed with Councillor Bannister and advised the windows and doors did not share the same proportions to other buildings on the High Street. She also thought it would be beneficial to look at the materials in closer detail including the proposed metal cladding.

Councillor Bannister suggested that members make comments on the plans and that a collated response is sent to the next Economic Development and Planning Committee for discussion.

Councillor Knight asked whether the planning application could be posted onto the council website and encourage members of the public to make a comment through Herefordshire Council Planning website.

RESOLVED:

That Members prepare a response via email and that a further meeting be set up of the Working Party to consider the final recommended response for submission to the Economic Development & Planning meeting on 11 March 2021.

36. **DATE OF NEXT MEETING**

The date of the next meeting will be held on Tuesday, 9 March 2021 at 4:00pm via zoom.

LEDBURY TOWN COUNCIL

**Notes of a meeting of the Traffic Management Working Party held on Tuesday,
23 February 2021**

PRESENT: Councillors Banister and Howells

ALSO PRESENT: Angela Price – Town Clerk

68. APOLOGIES

No Apologies were received.

69. QUORUM

Unfortunately, due to there being insufficient members of the Working Party in attendance, the meeting was unable to proceed.

70. DATE OF NEXT MEETING

RESOLVED:

**That the meeting of the Traffic Management Working Party will be held
on Tuesday, 30 March 2021 at 2.00 pm.**

Signed **Date**

**NOTES OF A MEETING OF THE
NEIGHBOURHOOD DEVELOPMENT PLAN WORKING PARTY
HELD ON 2 FEBRUARY VIA ZOOM**

PRESENT: Councillor Howells (Chair), Councillor Bannister, Nicola Forde (Deputy Chair) Ann Lumb, Paul Kinnaird, Steve Glennie Smith, Nick Fish, Celia Kellett

IN ATTENDANCE: Town Clerk – Angela Price

143. APOLOGIES

Apologies were received from Councillor Helen I'Anson

144. DECLARATION OF INTERESTS

None received.

145. MINUTES

Members were requested to approve and sign the notes of a meeting of the Neighbourhood Development Plan Working Party (NDP) held on 5 January 2021 as an accurate record.

RESOLVED:

That the notes of a meeting of the Neighbourhood Development Plan Working Party held on 5 January 2021 be approved as an accurate record.

146. NOTES OF THE STEERING GROUP – UP TO 22 JANUARY 2021

RESOLVED:

That the notes of the NDP steering group from 31 December 2020 to 22 January 2021 be received and noted

147. TOWN COUNCILLOR BRIEFING MONDAY 25 JANUARY 2021

Councillor Howells updated members on a recent Town Councillor Briefing held on Monday, 25th January 2021.

Councillor Howells explained that if members agreed to the NDP current status briefing document, it would be sent for the ED&P Committee and Full Council for approval.

It was advised that Dave Tristram had suggested applying for a £5,000

grant this year and a further grant of £5,000 for next year. Councillor Howells advised members that he would be meeting with Dave Tristram and the Town Clerk to discuss further.

RESOLVED:

1. That updated Budget Position 2020/21 be approved.
2. That the Ledbury NDP current status briefing document 22/01/21 be approved, noting that a copy of the report is submitted to the next EDP Committee Meeting and Full Council to be formally approved.
3. That members receive and note the current project timeline forecast 09/01/21.

148.

UPDATE ON PROGRESS WORK OF Bill Bloxsome AND Carly Tinkler

Nicola Forde advised members that Carly Tinker is still working on the baseline studies and that she is making progress. She also noted that Bill Bloxsome has completed most of the basic documents and that the Design Guide is looking very promising.

Members discussed areas in the town that would qualify as Local Enhancement Zones and Strategic Corridors with the aim of protecting them. Areas included Green Lane and Cut Throat Lane.

There was a lengthy discussion about the Design Guide including whether it carried weight with developers. Councillors Howells advised that the Design Guide has been useful when commenting on Planning Applications in the past.

RESOLVED:

1. That the verbal update on the work of Bill Bloxsome and Carly Tinkler be received and noted.

149.

UPDATE ON FUNDING

Councillor Howells updated members on the progress on obtaining funding and advised that he will be meeting with Dave Tristram and the Town Clerk to discuss which grants to apply for.

RESOLVED:

That the verbal update on funding be received and noted.

150.

UPDATE ON FILLING

Councillor Howells advised Members that the Office Administrator has recently updated the NDP website and that by the end of February the website and office filing system set up should be completed.

RESOLVED:

That the verbal update on filing be received and noted.

151.

APPROVE COMMUNICATIONS AND CONSULTATION PLAN

Members were provided with the current draft Communications and Consultation Plan.

Councillor Howells advised that he has been working with consultant Maxine Bassett on the document.

Members were advised that volunteers would be sought to help with consultation meetings and writing them up. As the consultation gets underway help would also be needed.

Two consultation meetings had been held: one with Heineken - Paul Kinnaird advised members that he had sent a copy of the notes of the meeting with Heineken and was waiting for them to approve them. Nicola Forde advised that the Ledbury Health Partnership had approved the minutes of their meeting verbally. The Clerk advised that an electronic signature should be sought.

It was agreed that once these documents had been signed the documents would be uploaded to the Town Council NDP website as evidence. The Clerk advised that the office have Adobe and that they could send a copy back to Heineken and Ledbury Health Partnership and ask for an electronic signature.

Anne Lumb asked whether the Town Council could provide a list of community groups that the council used to send correspondence to in October 2019. The Town Clerk advised that she would send a copy via email.

Members were advised that the Ledbury Portal would support the NDP and share any news or consultations on their platform.

RESOLVED:

That the Communications and Consultations Plan be received and noted.

152.

DATES OF NEXT MEETINGS

To note that future meetings of Neighbourhood Development Plan Working Party are scheduled to be held on the following dates in the 2020/21 Municipal Year and that meetings will be held via Zoom until further notice:

Tuesday, 2 February 2021 - 6.30 pm

Tuesday, 2 March 2021 - 6.30 pm

Tuesday, 30 March 2021 6.30 pm

Meeting closed at 7:45

Signed Dated

Ledbury NDP Steering Group (SG) agenda and actions

Members: Cllr Phillip Howells (PH); Nicola Forde (NF); Ann Lumb (AL)

Consultants: Bill Bloxsome (BB); Carly Tinkler (CT) Samantha Banks,

Herefordshire Council (SB); WP = Working Party

Office: Angie Price (the Clerk, AP)

Action colour code: Red = still to do

Meeting 17 – Thursday 28th January 2021 Present: PH; NF; AL; BB	
1 Notes of Meeting 15 & 16 Notes of both meetings were agreed. PH has had a meeting (25 th January) to which all councillors were invited to update them on the NDP objectives and aims, timescale and budget. These were agreed as the way forward.	
2. Issues and Options Paper BB explained that the purpose of the paper was twofold: to clarify higher level issues, rather than go into detail; and to lead onto what to consult on at the consultation stages.	
i) <u>Land for New Businesses</u> Main issue here is finding 12 ha. employment land. If we can't find it all south of Little Marcle Road, can we find it elsewhere? Will this affect the requirement to find recreational land? <u>Auction Area:</u> This could be included because it is south of Little Marcle Road. BB asked: does it accord with the NPPF and Core Strategy? We need to ask if HC will allow this, but the examiner might say that it doesn't meet the conditions of the Core Strategy. PH is going to contact someone at Pugh's about this and their other site in Market Street.	PH
<u>Heineken Land:</u> BB explained urgent need for action and raised the following questions: a) Has Paul Kinnaird got a map of ownership from Clare at Heineken showing extent of land we can have? b) Access could be across the area between the roundabout and their current access (not suitable because of HGV use). Will HC accept this additional route to be used to access both employment and sports land? PH to ask Sam if this will be acceptable and OK with Highways.	NF
BB suggested that the area NW of Heineken factory could be included in employment land and we need to find out from CT if this would have an adverse landscape impact. BB also asked if there are any other options further west.	PH
<u>Other Land:</u> The Viaduct Site is separate and an additional 3 ha. Heineken has about 7½ hectares, Pugh's amounts to about 1 ha., so we need to find about 3 ha. more.	PH
<u>Railway Site:</u> BB referred to the way land by the station is presented. The Market Towns Investment Plan group are looking at this in their interim report, and BB thought referring to this was a better approach than 'a call for sites'. PH to ask Paul Sampson for his notes on this and his update on UBL	PH

Ledbury NDP Steering Group (SG) agenda and actions

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<p>NF asked if the Market Towns Investment group had money for Ledbury. PH said that the fund was quite large, and the railway station plan likely to be included because it is LTC's priority. PH to ask CT to assess the impact/sensitivity of the railway site development.</p> <p>BB pointed out problem of taking employment land from recreation given sensitivity of the land. PH to ask Carl Brace and SB for advice on situation where we don't have enough employment land.</p>	<p>PH</p> <p>PH</p>
<p>ii) <u>Supporting the Town Centre</u></p> <p>Discussed what we mean by town centre. PH's view is that we need to be more precise and include Tesco's and Co-op which are within 3 minutes of town centre, an integral part of it, and essential to other retailers because of the footfall between them. These supermarkets are not on the edge like Aldi, or the proposed Lidl which would take footfall from the town. It was also noted that the conservation area extends to Tesco traffic lights and area opposite the Co-op.</p> <p>BB pointed out that extending the town centre in this way was a fair distance and could lead to questions of change of use in intervening areas. We would also need to consult on such a change to town centre definition.</p> <p>SG agreed to ask Cllr Harvey to write up: a) objectives/what she wanted to achieve; b) options involved. BB suggested that we can then raise these issues at the consultation phase.</p> <p><u>Lawnsides</u>: BB asked what is land ownership here and could he have a map of this? PH to ask Cllr Harvey for link to map of this site. It could also be covered in the other work on town centre requested from her.</p>	<p>PH</p> <p>PH</p>
<p>iii) <u>Visitor Experience</u></p> <p>SG discussed the community need for additional budget hotel accommodation and preference for a peripheral site, perhaps on the 'triangle' at Full Pitcher roundabout. BB suggested only having a general policy on this, pointing out that a hotel provider might not want to locate to a specific site. BB agreed to NF's suggestion to have something in the design criteria to reflect the countryside element and sensitivity of a hotel at the entrance to Ledbury. PH said that Barratt's are now proposing further houses in the area where residential development has already been turned down on grounds of noise from the adjacent cheese factory. BB thought that if this and the Lidl proposal are rejected, the combined area could come forward for office/ business use.</p>	

Ledbury NDP Steering Group (SG) agenda and actions

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<p>iv) <u>Recreation Areas</u> BB is still waiting for Nick Fish's estimates of land they require. NF suggested using original figures produced by Carl Brace for a draft to circulate. SG agreed to use following meeting to list the options already considered for football facilities and forward to BB.</p>	SG
<p>v) <u>Children's Play</u> There is a play area near the old cricket pitch site. BB to look at this and be sent details of the development of affordable houses on the old cricket club site.</p>	PH
<p>vi) <u>Health and Other Emergency Services</u> BB is aware of issues including LTC preference for medical facilities in town centre and issues around the future location of tri-services.</p>	
<p>vii) <u>Design Guidance</u> NF acknowledged that BB needs feedback on the Design Guide, and she is working on this. BB advised that policies in the NDP are stronger than in appendices and that design guide issues should be in policies. NF asked if we could produce a Design Guide as for the City of Hereford, as SPD. BB said we could do this if it went through proper consultation. It does not have to fit into the NDP timeframe, would be a guide, not policy.</p>	
<p>viii) <u>Green Infrastructure</u> The footpath network was discussed. BB advised that the canal footpath/cycleway can be in the NDP, but not others. New footpaths can be alluded to but require Highways involvement. Footpaths can always be added in an appendix.</p>	
<p>3. Date of Next Meeting Next SG meeting with BB. BB to suggest possible dates in week of 8th February.</p>	

Ledbury NDP Steering Group (SG) agenda and actions

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<p>Meeting 18 – Friday 29th January 2021 Present: PH; NF; AL</p>	
<p>1) Recreation Sites Considered</p> <p>PH outlined the different sites considered for football facilities in the past and the associated issues. List of sites to be forwarded to BB is as follows:</p> <ul style="list-style-type: none"> i) <u>Viaduct Site</u>. Football pitches were put forward when this site was first considered, but they were not in the planning application. Phillip is not sure why not. Sport England and the FA support a combined provision for the Swifts (juniors) and Ledbury Town FC (seniors) and maybe this wasn't possible. However, the site may still be an option, depending on the Inquiry outcome. ii). <u>Gladman Site</u> - Dymock Road. This was rejected on landscape and access grounds, as detailed in Karl Brace's email. Further, it would only have been for Swifts and would therefore not have been approved by Sport England. iii). <u>Leadington Site</u> (SW of Ledbury). Site of new cricket club and grounds. This has capacity, but dips away and would require costly landscaping to be suitable for football pitches; access could also be a problem. It has been ruled out. iv) <u>South of Hereford Road</u> (near Riverside Park). Swifts looked at this land, which is flat. It may not be large enough and would have difficult access via a track to a neighbouring farm (Wall Hills). v). <u>Field west of Home Base roundabout</u> (Leadon Way). This land would probably be big enough, but access (currently via a gate and footbridge over the Leadon) would have to be improved. It might also spoil the Riverside Park. <p><u>Other issues:</u></p> <p>Phillip also explained the complex issues which have so far taken 8 years to resolve. The Swifts use the Rugby Club grounds but pay heavily. Ledbury Town have their own ground behind the Full Pitcher, but the old pavilion, lighting etc. need replacing on another site. The owner, Property Solutions, is obliged, and trying to get this done, but both clubs have to be supported in their needs and Herefordshire Council has to come together with all these bodies to get an agreed plan to put to Sport England. The best option is the proposed site south of Little Marcle Road.</p>	<p>AL</p>

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<p><u>Provision for Other Sports</u> Other sports also have to be considered or enabled including hockey, disabled riding, basketball, badminton etc. There is a need to talk to John Masefield about out of hours use of their sports hall.</p>	
<p>2. CT's Work PH wants to make clear that there is no more than £10,000 in the budget. LTC is having to increase the precept, but in order to keep this to a minimum, AP is suggesting taking out the LTC £10,000 for the NDP to put into reserves. Consultants will probably receive more via the £5,000 contingency, including MB who will be asked to analyse the consultation results. SG discussed the further work required by CT on biodiversity. There may be people involved in Sustainable Ledbury or the Climate Change WP who could help in future, but it was agreed to ask CT to cover the current work because of shortage of time.</p>	PH
<p>3. Communications and Consultation Plan PH has revised this, adapted from the last C & C plan, and included MB's suggestions. AL thought this was a good start. SG agreed that all consultations should be put into a spreadsheet, distinguishing between priority consultees, and advising consultees. The Word table started by NF could be basis for this spreadsheet; it should enable filter by different categories and take account of GDPR requirements. PH and NF to work on this document. <u>Evidence Base Consultation List</u> (C & C Plan pages 6 & 7) Businesses and other organisations already consulted were noted. Those remaining include:</p> <ul style="list-style-type: none"> i) <u>Pugh's and John Goodwin</u>. To be sent modified letter to businesses offering Zoom or telephone meeting. ii) <u>Mr Alistair Young</u>. To be invited to discuss letting him know what we are doing on recreation and employment. Land proposed is not just for football, but other sports and small business units. iii) <u>Sports Federation</u>. PH is aware of time pressures but contact with this organisation has to be left for a couple of weeks, because of personal circumstances involved. iv) <u>Tri-Services</u>. To be sent general consultation letter. v) <u>Other Groups/Organisations</u>. (C&C Plan pages 6 & 7) To be sent general consultation letter (not already sent letter in October 2019). These are: Community Voluntary Action Ledbury (CVA); Ledbury Rugby Football Club; Ledbury Walking Group; Ledbury Ramblers; Ledbury Harriers Running Club; Hellens; Eastnor Castle; Weston Cider; Ledbury Air Corps. 	<p>NF & PH</p> <p>PH</p> <p>PH</p> <p>PH?</p> <p>PH?</p>

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vi) <u>Other Priority Consultees are:</u> <u>John Masefield</u> – re. out of hours use of sports hall. <u>Charles Masefield</u> – re. Masefield Meadows: Anne Crane to be asked to contact (using consultee template) <u>Canal Trust</u> - to be contacted by NF. List of community groups contacted in October 2019 and redrafted consultation letter to be sent by AL	PH NF NF AL
4. Next SG Meetings Thursday, 4 th February 10.30 am (if necessary) Tuesday, 9 th February 2 pm (with BB)	

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Meeting 19 – Tuesday 9th February 2021 Present: PH; NF; AL; BB	
<p>1. Community Gardens</p> <p>PH provided further information about the location of the garden at Underdown and what is being proposed for a community garden and 2 or 3 cabins or similar holiday accommodation. Discussion followed on whether this should be included in the NDP or not. PH would want this preserved as green space. BB pointed out that it is a garden already, whether used by the community or privately, and that provision of tourist accommodation falls under existing policy and is part of the setting of a listed building, not matters of themselves relevant to the NDP. Including the Underdown proposal within the settlement boundary was discussed. BB pointed out that this could promote housing development in the vicinity, which we don't want. The second, Haygrove proposal for a community garden (off the Hereford road) was also discussed. SG agreed that BB should produce a general policy on supporting such community gardens within the green infrastructure.</p>	BB
<p>2. Areas of Opportunity</p> <p>BB presented his map depicting 5 zones or areas of opportunity. It was agreed that PH should sent this to Paul Sampson and John Bannister and contact the MP to get him onside. The 5 areas were looked at and discussed as follows:</p> <p>i) <u>Opportunity Zone 1 (north)</u></p> <p>BB said that this area was presented in the Issues and Options paper under 'Landscape and Important Views' because it's a landscape which Wellington Heath wants to protect. AL asked if all the green areas/corridors/zones which we want to protect could be presented together, so that the whole network (north, east, south, and west of Ledbury) is clear on both the map and write-up on green infrastructure. PH reminded SG that we were going to consult 5 or 6 neighbouring parishes. BB advised to leave this until the formal consultation phase, unless there is an issue affecting their boundary. We are already in contact with Dymock and Wellington Heath and PH will send letter confirming discussions to date.</p> <p><u>Area Near Railway Station:</u> BB pointed out associated problem of putting more traffic on the Bromyard Road if this proposal is pursued. He also needs CT's landscape assessment on: a) the smaller site north of the station; b) the</p>	<p>PH</p> <p>PH</p>

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<p>area northwest of UBL; c) the Deeley and Barratt's sites for potential light industry.</p> <p>ii) <u>Opportunity Zones 2 and 3 (southwest)</u> BB referred to the need for 12 ha. land south of Little Marcle Road. He has contacted HC (Carl Brace and Ruth Jackson) and Nick Fish and Steve Onions to ask for their comments on his assessment of potential sites for playing fields. If the playing fields take out some of the commercial land, it may be replaced by land now available on the Deeley and Barratt sites. Here, future development needs to have a buffer and be restricted to light industry consistent with the neighbouring residential area. AL suggested the need for tree planting and NF careful access via Dymock Road, where Lidl would have been located. BB suggested need for such road improvement there to be put to Paul Sampson. PH suggested there should also be investment in high-tech infrastructure to this site.</p> <p>iii) <u>Opportunity Zone 4 (Lawnside)</u> PH reported preference of a senior local GP for a town centre location of future medical facilities. BB suggested putting proposals (listed on map) for Zone 4 to the local MP and the Market Towns' Economic Investment Plan coordinator. PH to provide BB with link to map of ownership at Lawnside.</p> <p>iv) <u>Opportunity Zone 5 (Riverside/Canal Route)</u> BB pointed out that we must ensure that the line of the canal is protected AND a sufficient width of land for the path/cycle way. The NDP can only cover policy for our area, so reference to the route between Staplow and Dymock is not appropriate.</p>	<p>PH</p> <p>PH</p> <p>PH</p> <p>PH</p>
<p>3. Other Issues BB asked SG to consider the questions being suggested in the Issues and Options paper for use at the consultation stage. He has provided ideas to start the process. When the Issues and Options paper is revised, we shall need a meeting with Max to decide and finalise the questions. BB will update the employment topic paper to include the Barratt, Deeley and railway station sites. BB will also produce a separate paper on green infrastructure. <u>Design Guide</u>: NF and AL have feedback and will be asking Paul Kinnaird and Paul Neep for their comments so as to get back to BB as soon as possible. PH asked if there is a reference in the Design Guide to colours/materials/design, as used by Colwall, to meet requirements of the AONB. NF to ask Paul Esrich (AONB) for his comments on the Design Guide.</p>	<p>BB</p> <p>BB</p> <p>NF</p> <p>NF</p>

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<p><u>SEA Scoping Report</u>: to be put on website after the consultation on it.</p> <p><u>Consultation</u>: BB thought PH's suggestion to send an email to various groups asking for comment before the final document goes to consultation was a good idea.</p> <p>SG agreed that an article flagging up the NDP consultation should go to Focus and West of the Hills by 8th March deadline for the April issues.</p> <p>PH proposed that the spreadsheet headings used in the last consultation exercise should be used again. BB added that putting a timeline in would be useful. PH to send this spreadsheet to NF.</p> <p>PH also asked MB to provide a price for her work: a) designing questionnaire; b) coordinating responses on an Excel spreadsheet; c) reporting results.</p>	<p>PH</p> <p>BB</p>
<p>4. Date of Next Meeting</p> <p>Next SG meeting with BB on 23rd February at 2pm.</p>	

Ledbury NDP Steering Group (SG) agenda and actions

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Meeting 20 – Monday 15 February 2021 at 10.30am Present: PH; NF; AL; CT (joined the meeting at 11 am)	
1. Agreed to hold a Steering Group meeting on Friday 19 th February at 2pm.	
2. Agreed to discuss with CT which parts of the Landscape Study could be done by volunteers and which CT would do and timescales and to find out if there was information, she needed to complete her study which she did not have.	
3. CT joined the meeting at 11.00. She asked for information about the work she had been asked to do to assess the sensitivity of the Railway Station as this had not been an area she had been asked to look at before. From the work she has done to date she believes this is an area of high sensitivity. Agreed CT to talk to BB about what information he needs from her. Suggested that BB first read the introductory sections of CT's draft LVBA report which explains the approach the report will take – PH to contact BB and explain.	CT PH
4. NF agreed to do the Biodiversity section and had contacted Ledbury Naturalists to see if they had any ecological studies. CT to send a copy of her Hindon report as an example of how to write up the biodiversity section.	NF CT
5. NF agreed to attempt to write up the aesthetic and perceptual section.	NF
6. AL agreed to write the approaches and gateways section. CT explained that this would look at old and new gateways – and address the question 'does the gateway/approach express how we want Ledbury to be perceived?' and 'do we want to mark the gateways?'. Often the gateway is where the 30-mile speed limit begins or is it where you first see the town.	AL
7. CT to circulate the 2 nd draft of the LVBA	CT
8. Recommendations – each section should have recommendations – what can't be done now but what we should be asking developers to contribute to and what could be included in the next iteration of the NDP. CT will bring all the recommendations together in the final part of the report.	
9. All authors will be asked to read the 2 nd draft report to pick up details from other sections to cross-reference with their own.	All Authors
10. Asked about the digitalising of the maps CT said that most of the maps had been digitalised – but they will need updating particularly the keys and proof-reading. About 3 new maps would be needed – Visual baseline, Green infrastructure, and Land use – CT to verify. CT to see if the landscape architect volunteers would be willing to	

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help with these. PH to find out if Sam Banks/Herefordshire Council has anyone who could do this. CT said that her Ordnance Survey number could be used but she would check whether BB could use it too. CT thought the Town Council had the right use the Ordnance Survey map of the town centre without a license – PH to ask Sam Banks.	CT/PH PH
11. Photos will be put in at the end, authors should indicate where they would like a photo	All Authors
12. PH to complete the footpaths, social and public amenity section bringing together everything that Ian Fountaine and Tony Evans have done in line with the template he has.	PH
13. NF to get in touch with John Bannister re views from Wellington Heath and photos	NF

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Ledbury NDP Steering Group (SG) agenda and actions

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6. Dates of Next Meetings	
SG meeting with BB (MB invited) on Tuesday, 23 rd February at 2pm.	
SG meeting on Friday, 26 th February at 3pm.	

Ledbury NDP Steering Group (SG) agenda and actions

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<p>Meeting 22 – Tuesday, 23rd February 2021 Present: PH; NF; AL; BB; MB.</p>	
<p>1. Issues and Options Paper V4 – Consultation Issues MB was asked how she envisages using this paper at the first consultation stage (April/May). MB said that there were different ways suitable for use during lockdown. It can be emailed as a Word document or put on the website to fill in online and return (using Google Docs). MB thought about 30% of people would respond online. The Issues paper can also be posted to every household with a questionnaire to return; or delivered/collected by hand to avoid postage costs. MB was also asked if she thought the paper needed simplifying. She thought some aspects needed to be clearer rather than reduced, and the sections separated more; it doesn't need more graphics, in her view. By Reg. 14, physical consultation will probably be possible, using display boards with policies and questions on adjoining boards. If using a team of volunteers to collect data, MB would want to give them training to ensure consistency. MB, BB and CT to be invited to quote for extra work and this will be put to the next WP meeting.</p>	<p>SG</p>
<p>2. Issues and Options Paper V4 – Content and Questions Type of Question: In the discussion, MB explained her preference for 'strongly agree; agree; disagree' or 'yes; no; don't know' responses. She is not a fan of using scales. PH explained why the question on the settlement boundary is leading and has a definite steer for respondents to consider. BB pointed out 2 remaining problems: 1) The strategic requirement to find employment land (7.5 ha. from Heineken leaving 4.5 ha. short) and at the same time meet the need for recreation land. Core Strategy covers 12 ha. employment land but does not mention that it could also be used for sport. There is a further 1.6 ha. on the Deeley site, 1.25 ha. by the auction yard and the Barratt site, all potential employment land. Karl Brace was positive about using the whole area opposite the Full Pitcher roundabout for light industry/tri-services/hotel, with access off the Dymock Road. BB to contact SB for advice on (1). 2) Lack of response from football clubs on what they want and from HC officers contacted about the recreation paper. PH has arranged meeting with sports organisations for 3rd or 5th March and invites BB to attend. PH has also asked the Swifts/Ledbury Sport Federation to contact the landowner with offer of several dates for meeting in March.</p>	<p>BB</p> <p>BB & MB</p>

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<p>Question 1: BB and MB to alter preamble and drafting to link employment and sports issues and possibly move section on Recreation within the paper.</p>	
<p>Question 2: SG discussed how we wanted to define the town centre and what the retail traders want. BB to look again at map of town centre and what we want the questions to achieve, as outlined by PH. BB to redraft Question 2, including defining primary and secondary in the background information.</p>	BB & MB
<p>Question 3: SG agreed this question.</p>	
<p>Question 4: Needs to relate to Question 1 (as above). MB asked how we should manage the second part of this question. PH explained the dearth of land for recreation in Ledbury and that different groups (riding for disabled, boxing, volleyball etc) may need land. Question should have preamble: Subject to being able to find space....</p>	BB & MB
<p>Question 5: MB to draft this question in 2 parts, recognising that different age groups have different play facility needs.</p>	MB
<p>Question 6: SG agreed that the question should be amended to refer to 'expanded and integrated health facilities.</p>	MB
<p>Question 7: SG agreed question after discussion about the land north of the station, the problem of increased traffic on Bromyard Road and possible use of the coach park opposite the station for additional parking.</p>	
<p>Question 8: NF to provide feedback on Design Guide to BB asap. Design guide elements will be in different NDP policies on housing, green infrastructure etc. We are not consulting on it until Reg. 14.</p>	NF
<p>Green Infrastructure Section SG agreed that minor changes to Figure 3, the conceptual map, would meet current needs, along with a key to show both the HC and the new zone/corridor descriptions. BB to amend. BB also to update the town green infrastructure map to include all green spaces north of Leadon Way and by the sewage works. NF to resend her map.</p>	BB NF
<p>Questions 9 and 10: The order of these questions should be reversed. Question 9 should have a second part: Are there any</p>	BB & MB

Ledbury NDP Steering Group (SG) agenda and actions

Members: Cllr Phillip Howells (PH); Nicola Forde (NF); Ann Lumb (AL)

Consultants: Bill Bloxsome (BB); Carly Tinkler (CT) Samantha Banks,

Herefordshire Council (SB); WP = Working Party

Office: Angie Price (the Clerk, AP)

Action colour code: Red = still to do

<p>footpaths/cycleways you feel should be protected or created within the conceptual map?</p> <p>Landscape and Important Views Section BB was planning to use 10 important views here. SG agreed that this section is now not needed in the Issues and Options paper.</p> <p>Settlement Boundary Section SG agreed that the first two maps each needed a key and that the settlement boundary in Option 3 should be clearer, perhaps in red.</p>	BB
<p>3. Next SG Meeting Friday 26th February at 3pm</p>	

Ledbury Neighbourhood Development Plan Revision 2021: Technical support

Proposals are invited for the additional work of drafting of the revised NDP and revisions to the report after consultation; support with responses to the Regulation 14 and Regulation 16 consultations and additional work on a conceptual Green Infrastructure Report.

1. **The objective** of this work is to complete the second phase of the revisions to the NDP (the first phase being the baseline studies and consultations to support the proposed revisions). This second phase will bring the revised NDP to the public and statutory consultees, act on comments and suggestions by making changes to the document where relevant, and present the final draft to the independent examiner.

2. **Scope of the Work**

The work is in three parts:

1. Drafting and revising the NDP.

To draft the NDP once comments have been received from the first round of consultation. The draft will involve writing detailed policies.

After the second consultation (Regulation 14) the NDP will be revised in the light of comments and a final draft submitted to public consultation (Regulation 16). Following the Regulation 16 consultation additional revisions will be made in the light of consultation responses.

2. Responding to comments from consultations.

Following the Regulation 14 and Regulation 16 consultations professional support will be required in responding to comments received from the public and statutory consultees and assessing whether changes need to be made to the NDP.

3. Completing a Green Infrastructure Report

Following initial work on green infrastructure in the NDP area there is a need for this work to be brought together into a conceptual study which will be able to inform the future development of the settlement. The report will add detail to the green infrastructure strategy conducted by Herefordshire Council in 2010. It broadly identify the public good which various areas of land around the settlement will deliver and their potential and suitability for development. This study will be an appendix to the NDP and will inform the revision of the Herefordshire Core Strategy policies for Ledbury.

The consultant will work with other consultants contracted for the project as well as volunteers and report to the NDP Working Party and Steering Group and ultimately Ledbury Town Council.

Version 2nd March 2021

Additional technical consultancy proposal for the Ledbury Neighbourhood Development Plan 2021-2031

Ledbury Neighbourhood Development Plan Revision 2021:

Landscape assessment

Proposals are invited for the preparation of landscape sensitivity assessments for three sites; support with public consultation materials; feedback to consultees about their comments and support with completion and revision of the NDP.

1. **The objective** of this work is to complete the second phase of the revisions to the NDP (the first phase being the baseline studies and consultations to support the proposed revisions). This second phase will bring the revised NDP to the public and statutory consultees, act on comments and suggestions by making changes to the document where relevant prior to presenting the final draft to the independent examiner.

2. **Scope of the Work**

The work is in three parts:

1. Completing Landscape Sensitivity Assessments

Following work on the baseline studies which will inform the revisions to the NDP, three sites require more detailed assessment in regard to their capacity and sensitivity to development as employment sites.

2. Support with drafting the NDP and Revisions

Professional landscape assessment input will be needed in the drafting of the NDP after the first round of public consultation and the revisions to it after the Regulation 14 consultation.

3. Support with public consultations.

Professional landscape assessment input will also be needed in the drafting and editing of the consultation materials at the first and second (Regulation 14) consultations.

Following the Regulation 14 and Regulation 16 consultations a landscape professional will be needed to help respond to comments with regard to landscape issues including those covering the selection of particular sites for particular activities. In addition landscape professional input will be needed to advise on the response to any comments which arise from the Landscape and Visual Baseline Assessment study which underpins the revisions to the NDP.

The consultant will work in coordination with other consultants contracted for the project as well as volunteers. They will work with and report to the NDP Working Party and Steering Group and ultimately Ledbury Town Council.

Version 1st March 2021

Additional landscape assessment consultancy proposal for the Ledbury Neighbourhood Development Plan 2021-2031

Ledbury Neighbourhood Development Plan Revision 2021:

Consultation support

Proposals are invited for support with public consultations to be held on the revision of the Ledbury Neighbourhood Development Plan (NDP).

1. **The objective** of this work is to devise and operate a consultation on the proposed revisions to the Ledbury Neighbourhood Development Plan and to analyse and respond to comments.

2. Scope of the Consultations

The revised NDP will be subject to three public consultations:

- The first will focus on the principles of proposed changes and in particular the proposal to draw a boundary around the settlement. The intent is to consult all residents and businesses in the NDP area **as well as statutory consultees.**
- The second is the statutorily required Regulation 14 consultation and will consult on the draft Neighbourhood Development Plan.
- The third is the statutorily required Regulation 16 consultation and will consult on the final draft of the NDP.

3. Scope of the consultation support work

The consultant will advise on the timing and content of consultations. In particular with regard to other consultations, elections, town events, public and school holidays which may affect the timing.

The first consultation will be held in April/May 2021 under Covid 19 restrictions. Support is required:

1. to advise on methods of consultation suitable for use under Covid 19 conditions;
2. to write and design consultation materials including questionnaires ;
3. to advise on methods to be used to enable and encourage as wide a range of the public to comment as possible;
4. with volunteer help, to collate, analyse and report on consultation responses (including producing graphic representations of responses).

The second (Regulation 14) consultation it is hoped will be held once Covid 19 restrictions have been relaxed and public meetings or exhibitions can be held. Support is required:

1. to advise on methods of consultation (exhibitions, meetings, online surveys etc);
2. to write and design consultation materials including questionnaires;
3. to advise on methods to be used to enable and encourage as wide a range of the public to comment as possible;
4. with volunteer help to collate, analyse and report on consultation responses (including producing graphic representations of responses).

Version 1st March 2021

Public consultation support proposal for the Ledbury Neighbourhood Development Plan
2021-2031

1820

Ledbury Neighbourhood Development Plan Revision 2021:

Consultation support

The final (Regulation 16) consultation will be organised and designed by Herefordshire Council support is required to collate, analyse and report on consultation responses (with volunteer help) including producing graphic representations of responses.

The consultant will work with other consultants contracted for the project as well as volunteers and report to the NDP Working Party and Steering Group and ultimately Ledbury Town Council.

Version 1st March 2021

Public consultation support proposal for the Ledbury Neighbourhood Development Plan
2021-2031

1821

Ledbury Neighbourhood Development Plan 2021-2031

1st Review

Issues and Options

February 2021

Ledbury Town Neighbourhood Development Plan

1. Introduction

- 1.1 The first Ledbury Neighbourhood Development Plan (NDP) was unable to contain policies upon several important matters because it was considered insufficient evidence or clarity was available to support their inclusion or they were not land use policies. This included provision of employment land, promotion of a range of design matters, safeguarding local green space, and the identification of a settlement boundary for the town's built-up area. In addition, a number of planning permissions granted while the plan was being prepared or subsequently have produced added pressures upon facilities, the need to provide playing fields being one of the most notable.
- 1.2 Ledbury Town Council has agreed to undertake a limited review of its NDP to try to address these matters. It is not a comprehensive review, which should await the review of Herefordshire Local Plan Core Strategy (The Core Strategy) that will set out requirements beyond the current plan period of 2011 to 2031. The Core Strategy contains a range of strategic or 'high level' policies that the NDP must comply with where they are applicable. They include two general locations where notable change should take place – land to the south of Little Marcle Road to provide employment to match housing growth and land to the north of the Viaduct and Railway Line to be developed for housing and employment. The Core Strategy also supports efforts to maintain and enhance the vitality and viability of the town centre.
- 1.3 This document sets out the main issues that the NDP intends to cover so that the community can express its views upon any revisions before the Town Council finalises its draft plan. The community will be consulted again when that draft plan has been prepared. Where possible this document presents some options upon which residents may wish to express a preference.

2. Land South of Little Marcle Road

Land for New Businesses

- 2.1 It is proposed that the NDP should seek to allocate land for employment, so that the town can grow in a balanced and sustainable way. In this way out-commuting to work, which is expected to result from the increase in population arising from housing development, can be reduced. Herefordshire Council indicates that 12 hectares of land for new businesses should be located to the south of Little Marcle Road. Its analysis of the landscape surrounding the town suggests that this is the location which is least sensitive. There are already business premises in that location. However, the location of the additional employment land is not defined, and currently there is no mechanism agreed that might deliver it. For the town to grow in a sustainable way, promoting local employment would reduce the need to travel elsewhere to work. The opportunity exists to utilise the Market Town's Economic Investment Plan project to try to bring forward employment land in this location. An assessment of potential employment sites identified a limited number of smaller sites in locations that are less sensitive or could be screened to a satisfactory degree.

These might also contribute towards providing local employment across a range of businesses, including tourism.

Land for Playing Fields

- 2.2 There are no specific proposals for recreation in the current plan although there is a policy to support new or improved community facilities for the youth of the area subject to a number of criteria. Ledbury and District Sports Federation and its constituent clubs have identified the need for further playing fields especially in order to meet the needs of the local rugby and football clubs. This includes Ledbury Town FC where its proximity to new housing recently granted planning permission may restrict its ability to play at levels that it has traditionally achieved. The assessment is that around 5 to 6 hectares of additional land may be required. Funding and delivery opportunities have been explored and the expansion in the vicinity of the rugby club is favoured. The need to provide for these sports is seen as one of the main purposes for the review of the NDP and potential sites have been explored. The preferred option is also to locate playing fields to meet the current needs to the south of Little Marcle Road.

Question 1a: Do you agree that providing land to expand provision for sport is a high priority? (Please tick one answer choice.)

Strongly agree	Agree	No Opinion	Disagree	Strongly disagree

Question 1b: Are there other recreational or leisure needs for which land should be identified? (Please write your comments in the box below.)

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Accommodating these Employment and Sports Needs

- 2.3 It is important to show that in accommodating any playing fields, we will not restrict the ability to meet the Core Strategy requirement for employment land. Land south of the Heineken factory is expected to make a major contribution towards the 12ha required. However, promoting a range of sites to the south of Little Marcle Road with a flexible approach in terms of jobs that might be encouraged while protecting local amenity may enable both the requirements to be met. This would also enable advantage to be taken of recent changes to categories covering commercial, business and services uses to widen employment opportunities without having a significant adverse effect on residential amenity or the landscape. The relocation of the auction building to the site on the Ross Road is an example of such flexibility.
- 2.4 A similar opportunity is afforded by land to the south of the Full Pitcher roundabout where there is currently a number of businesses and a sensitive development between these and dwellings to the east might mitigate some of the noise that is

currently generated in this location. The current Plan refers to the establishment of a tri-service facility near the bypass and although the emergency services have no immediate plans to co-locate they welcomed the reference. Land in this vicinity may offer an opportunity that would benefit emergency services through vehicles avoiding having to travel on the more congested roads within the town to locations outside. Similarly, there is a suggestion that the promotion of additional hotel accommodation on the periphery of the town would add to tourism potential. The current NDP policy might be expanded to support additional hotel accommodation outside of the urban area. A location upon Ledbury Bypass may offer the opportunity to diversify the range of hotel accommodation on offer.

- 2.5 Should it be possible to bring forward a number of sites, these might contribute towards the 12 hectares required to the south of Little Marcle Road. It would have to be shown that such development would not adversely affect residential amenity, that it would support the enhancement of green infrastructure in this vicinity, and the care would be needed to show that any proposal would not have a significant adverse effect on views from the Malvern Hills AONB.

Question 2: Given that Ledbury is required by the Core strategy to provide 12 ha. new employment land to the south of Little Marcle Road, would you agree to:				
a) Advancing one or more sites to meet this requirement? (Please tick one answer choice.)				
Strongly agree	Agree	No Opinion	Disagree	Strongly disagree
b) Exploring the potential for further employment land restricted to uses that can take place within or adjacent to a residential area without detriment to amenity in the vicinity of the Full Pitcher Roundabout? (Please tick one answer choice.)				
Strongly agree	Agree	No Opinion	Disagree	Strongly disagree
c) Identifying other smaller areas to accommodate new or expanded businesses in appropriate locations elsewhere on the periphery of the town? (Please tick one answer choice.)				
Strongly agree	Agree	No Opinion	Disagree	Strongly disagree

3. Land North of the Viaduct and Railway Line

- 3.1 A large part of this area is proposed for housing with some employment land within the Core Strategy which also sets out development requirements in some detail. This includes, among other matters, facilitation of the Hereford to Gloucester canal and a new park linking to existing walks and allotments. Vehicle access remains a concern.

Ledbury Railway Station

- 3.2 Ledbury's location on a railway line provides the opportunity to promote this more sustainable mode of travel. However, it is restricted in terms of safe access and car parking. The current plan indicates support for improvements to the accessibility and facilities available at the railway station. It has not yet been possible to deliver these improvements although adjacent land has been submitted for assessment as potential land for employment. Benefits in terms of improved access to the railway station are highlighted within the submission.

Question 3: Should a more proactive approach be taken, if possible, to provide improved accessibility to the eastbound platform of the railway station and related car parking? (Please tick one answer choice.)

Strongly agree	Agree	No Opinion	Disagree	Strongly disagree

4. Supporting the Town Centre

Ledbury Town Centre

- 4.1 The Core Strategy seeks to increase the vitality and viability of Ledbury town centre, especially through supporting retail, commercial, leisure, cultural and tourism proposals and resisting proposals outside the centre where this would have an adverse effect on these qualities. It also promotes the identification of a primary shopping area and primary and secondary shopping frontages through the NDP. The current NDP does not define a town centre area although this was suggested in an earlier draft – see Figure 2 below. It does, however, define primary and secondary shopping frontages – see Figure 1. Defining frontages regulates the range of uses considered appropriate within these. Within the former, the policy is to retain existing shops, restaurants, cafes and drinking establishments, and enable new ones. New such uses will also be encouraged in the latter as will proposals for new financial and professional Services and A5 hot food takeaways although these will not be supported in primary frontages. Changes in patterns of retailing and associated town centre uses are occurring rapidly and there may need to be a more flexible approach about what uses will retain the centre's attractiveness and whether its boundary might be extended to incorporate two of the larger supermarkets that lie just outside (Tesco and Co-op).

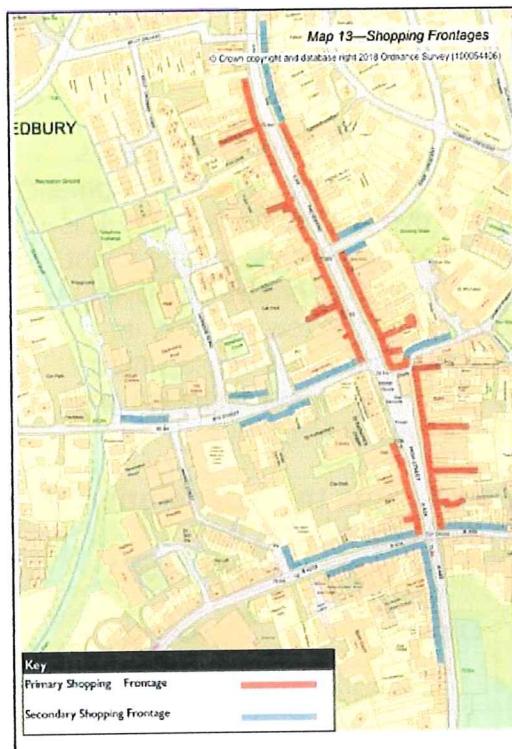


Figure 1: Map of Shopping Frontages

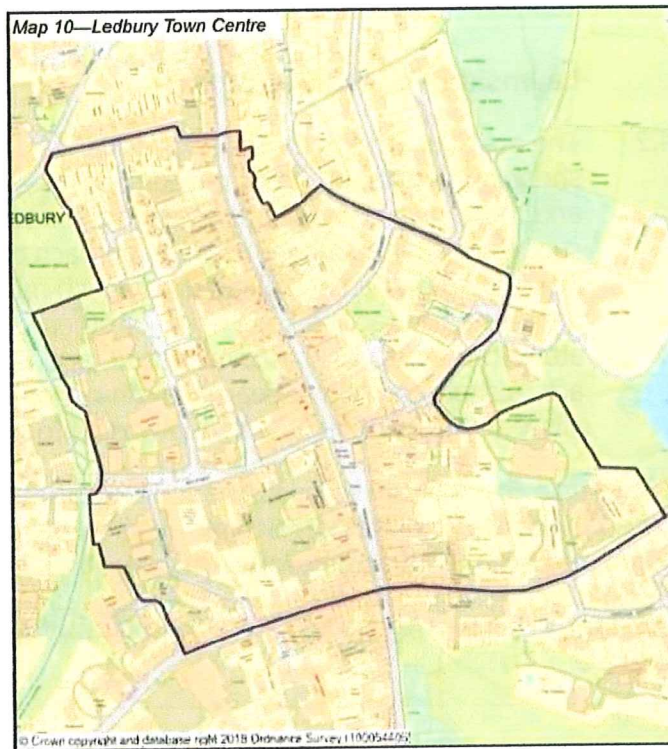


Figure 2: Map of previously defined town centre boundary

Question 4: Do you agree with the following proposals:				
a) That the town centre should be enlarged to include Tesco and Co-op through defining a reasonable extension to the current town centre boundary? (Please tick one answer choice.)				
Strongly agree	Agree	No Opinion	Disagree	Strongly disagree
b) That there should be no differentiation between primary and secondary shop frontages and shops, restaurants and cafes, drinking establishments, financial and professional services, and hot food takeaways be allowed within this combined frontage? (Please tick one answer choice.)				
Strongly agree	Agree	No Opinion	Disagree	Strongly disagree

Lawnside and Market Street

- 4.2 The area comprising Lawnside and Market Street, on the periphery of the town's shopping streets, is one of mixed uses where there are pressures for redevelopment, and these may be added to through the need to improve healthcare facilities. It is suggested that a comprehensive approach to defining how redevelopments might proceed so that a co-ordinated approach might be achieved to enable improved health service facilities, provision of other uses supporting the town centre, its attractiveness to visitors is increased, and the enhancement of the conservation area's character and appearance. An option is to retain the current approach and allow any development within Lawnside to proceed on an ad-hoc basis.

Question 5: Should we propose a co-ordinated approach to the regeneration of the Lawnside and Market Street area to benefit the town centre, its conservation area and community services? (Please tick one answer choice.)

Strongly agree	Agree	No Opinion	Disagree	Strongly disagree

Health and other Emergency Services

- 4.3 The current NDP contains a policy to support proposals which improve, or increase the capacity of and access to medical, dental and care facilities, by expansion or relocation. Since that plan was prepared Ledbury Health Partnership has formed comprising the two former general practices serving the town and its hinterland together. Its current accommodation is inefficient and fragmented and although provides for present needs, would not be able to meet expected population growth, and is unable to accommodate the range of other NHS and associated services expected for a modern health service practice. The benefits of the 'joined up' and holistic approach to health care services for the community would be enhanced further through improved and extended accommodation. Options are being explored although Ledbury Town Council would prefer to retain facilities within the town centre if that is possible as this would provide easiest access for all and support the town's economy. This would not be to the exclusion of other options should that not be possible.

Question 6: Should the NDP promote the retention of health facilities in the town centre if it is at all possible? (Please tick one answer choice.)

Strongly agree	Agree	No Opinion	Disagree	Strongly disagree

5. Green Infrastructure

- 5.1 Green infrastructure comprises the network formed by green spaces and other green features within and surrounding the town including, among others, parks, open spaces, playing fields, woodlands, orchards, rivers and streams, street trees and allotments. Current NDP policies afford protection to some green infrastructure elements such as woodlands surrounding the town and a number of features that contribute towards biodiversity.

Green Corridors and Enhancement Zones

- 5.2 The approach now being suggested is to maintain, enhance and encourage further natural features within the series of green corridors (referenced LedLSC) and enhancement zones (referenced LedEZ) identified in Herefordshire Council's Green Infrastructure Strategy which is a supporting document to the Core Strategy. Some of the corridors are associated with town-wide pedestrian and cycle routes. Further work undertaken for the review has highlighted additional corridors and enhancement zones together with additional measures. The new corridors and zones are shown in Figure 3.
- 5.3 Objectives for these areas will be set out in the NDP and these should be met if and when development is proposed within them. They may also direct supporting local actions. These objectives should strengthen those features contributing to the character and ecological value surrounding the whole of the town's built-up area including, where possible, measures to mitigate the effects of climate change. The areas and measures comprise:
- **Local Strategic Corridor LedLSC1** passes through the town along the line of the former Ledbury-Gloucester railway. The green corridor should be retained and enhanced where possible, including protecting open spaces in its vicinity.
 - **Local Strategic Corridor LedLSC2** incorporates not only the riverside walk but also greening along the edges of the western leg of Ledbury bypass and the adjacent sports grounds. An extension to or widening of the corridor to link to Walls Hill Camp and its surrounding woodland is proposed because of its importance to local heritage and the setting of the town. Extensions to the north and south would also ensure connectivity along the River Leadon and the proposed route for the reinstatement of the Hereford to Gloucester canal.
 - **Local Strategic Corridor LedLSC3** stretches out from the centre of the town to the north-east to link with Dog Wood. The green spaces within the town's built-up area, such as the churchyard and a large walled garden, are important elements within this corridor. The corridor's extension to include Frith Wood would be consistent with objectives for public access to the nearby woodlands.
 - **Local Strategic Corridor LedLSC4** is an example of what can be achieved in terms of connected green space within residential and associated areas and which residents can add to through wildlife friendly gardens.
 - **A new Local Strategic Corridor LedLSC5** is proposed incorporating locally important parks and gardens along the east of the town and a wildlife corridor based on the stream and public right of way to the south of the town. The new area would not only look to protect important landscapes but strengthen the connectivity and transition between the upland ecological network defined for Malvern Hills AONB in its Management Plan and the lowland valley of the River Leadon.

- **Local Enhancement Zone LedLEZ1** is where considerable new development is proposed in the Core Strategy. Herefordshire Council's Green Infrastructure Strategy encourages a range of actions to enhance the area that borders Wellington Heath parish including creating new paths, other environmental measures and the restoration of the canal. Wellington Heath NDP identifies a settlement green gap¹ to prevent, among others, coalescence between its settlement and Ledbury. It also indicates that a footpath and safe cycleway might be developed within its area to help link the two settlements, and for screening be used to mitigate the effects of development and protect the landscape setting of Malvern Hills AONB. The transitional landscape between upland and valley in this location needs to be recognised for its importance to the setting of the AONB to which the zone might be linked by an extension to the east. The enhancement requirements for this area should also protect this green gap. A complementary policy setting out the additional enhancement measures which ought to accompany any development within this area should be included in the NDP. Natural flood control measures to reduce the flooding effects of the new development upon the River Leadon should be introduced, including measures to benefit wildlife.
- **Local Enhancement Zone LedLEZ2** is an area where change is underway despite being identified as an important sensitive landscape by a planning inspector. The extension of the enhancement zone along the Dymock Road to incorporate the land identified as sensitive and enhancement measures that might be incorporated within those parts where development is likely should be included in the NDP.
- A new **Local Enhancement Zone LedLEZ3** is proposed on the higher ground at the eastern end of Ledbury Bypass that was identified as a sensitive landscape in the current plan and that would be a backcloth to new development that is under construction.

¹ See Policy WH3 at <https://wellingtonheathpc.org/wp-content/uploads/2020/10/WHNDP-v15.11.pdf>

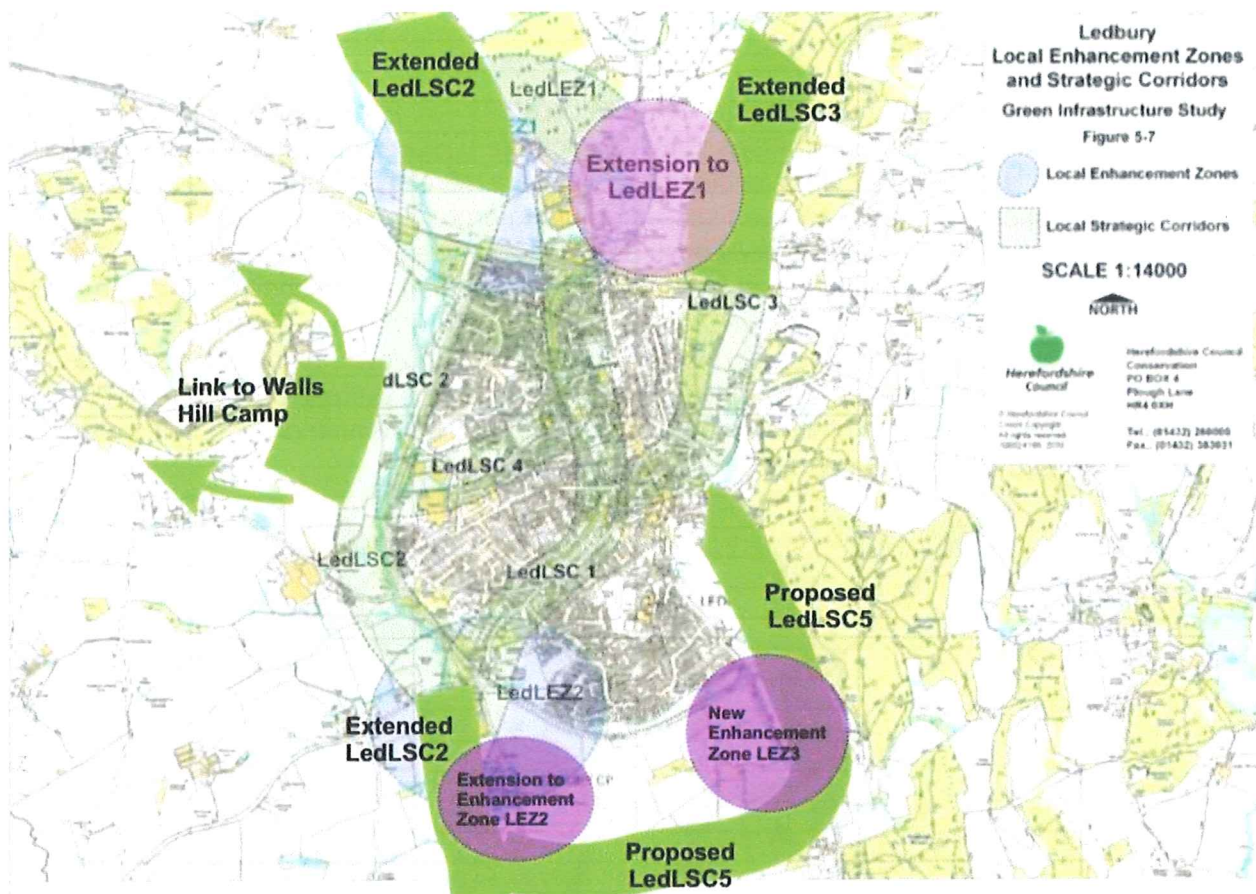


Figure 3: Current and proposed Local Strategic Corridors and Local Enhancement Zones

Question 7: Do you agree with the following proposals:				
a) That the areas (do we need to specify which areas we are talking about? i.e. purple, green??) identified on the map above should be added to the existing green infrastructure identified in the Herefordshire Green infrastructure report (Please tick one answer choice.)				
Strongly agree	Agree	No Opinion	Disagree	Strongly disagree
b) That within those areas green infrastructure should be protected, enhanced and extended where possible? (Please tick one answer choice.)				
Strongly agree	Agree	No Opinion	Disagree	Strongly disagree

Protected Green and Open Spaces

- 5.4 The elements and features that form the corridors and enhancement zones need to be protected and opportunities taken to promote positive measures to increase their extent, including net gains in biodiversity, where development is proposed. Not all the important green and open spaces requiring protection are included within these defined areas. Small and medium sized green and open spaces can add to local amenity and provide valuable wildlife refuges. The map below shows the green spaces identified in the draft NDP edged dark green with proposed additional open spaces, including along Leaden Way, shown edged in brown. Many of these were identified as protected area in the former Herefordshire Unitary Development Plan. Different levels of protection may, however apply, for example playing fields may be replaced with the same or better facilities elsewhere.

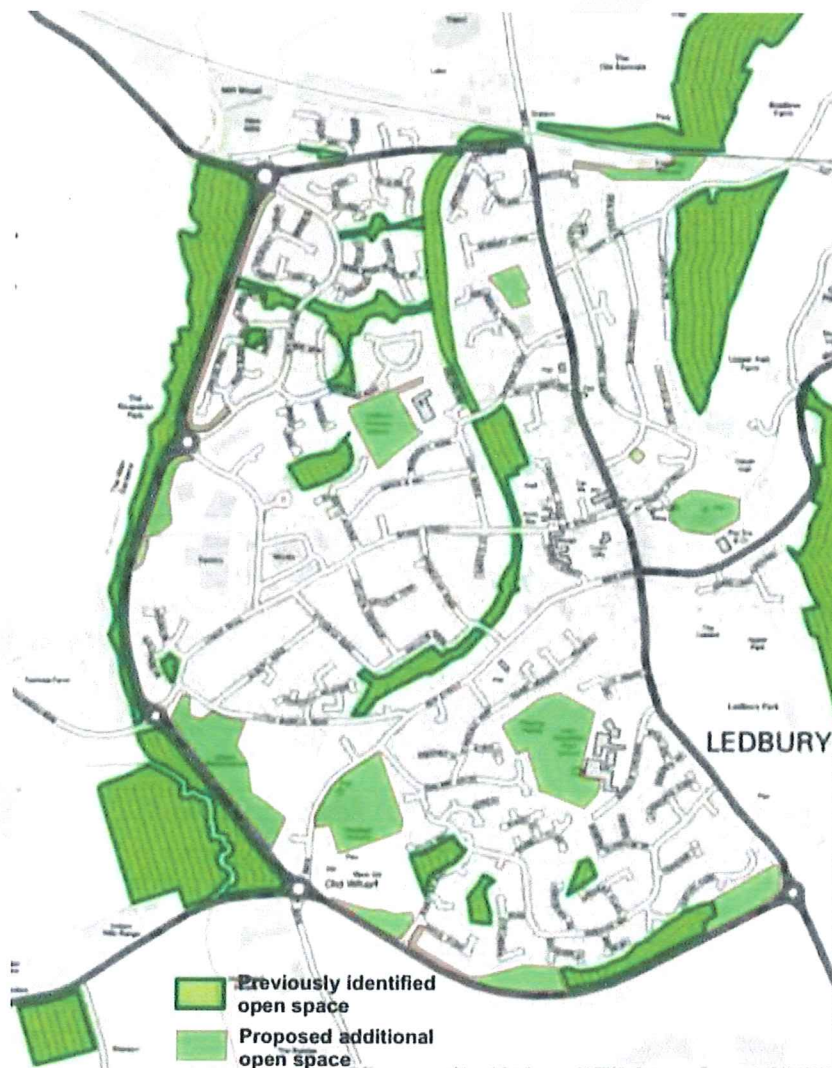


Figure 3: Current and proposed green and open spaces to be protected.

Question 8: Do you agree that all the green and open spaces shown in Figure 3 (edged green and brown) should generally be afforded protection as contributing to Green Infrastructure within and surrounding the town?
(Please tick one answer choice.)

Strongly agree	Agree	No Opinion	Disagree	Strongly disagree

Footpaths, Cycleways and Public Rights of Way

- 5.5 Footpaths, cycleways and public rights of way are important elements within the corridors defined through and surrounding the town, especially those associated with green spaces and corridors. Many of the latter lead out from its built-up area, enabling access to woodlands and other natural green spaces in the surrounding countryside, especially upon the Malvern Hills. There remains the ambition to add further to this by safeguarding the route of the Herefordshire to Gloucestershire Canal so that a restoration project might lead to the reopening of the link at some time in the future and with the tow path providing pedestrian and cycle access to neighbouring areas. Facilitating access to parts of the town and its surrounding villages and hamlets areas along green corridors supports three objectives of promoting health and wellbeing, retaining and increasing biodiversity, and mitigating the effects of climate change. Encouraging improved links to the wider network will also benefit both physical and mental health.

Question 9: Can you suggest any footpaths, cycleways or other connections that should be protected or created to benefit residents and access to wildlife?
(Please write your comments in the box below.)

Children's Play

- 5.6 Children's play areas can provide access to nature as part of their design and contribution to wellbeing. Herefordshire Council's Play Facilities Study 2012 identified 9 children's play areas within the town. All but one of these were in the northern part of its built-up area with only one to the south of Bridge Street. Circumstances may have changed slightly since that study with specific provision being made to serve new housing development. However, even if these were to serve a wider area, most are to the south of Leaden Way which is a major barrier to access by children. No opportunities to increase children's play area provision within the southern part of the town have been identified. It is proposed to enable provision of additional play facilities in areas of need if and when opportunities are identified.

Question 10: Can you identify an area where children's play facilities are needed or could be improved, including providing access to nature?
(Please write your comments in the box below, including what type of play area is needed e.g. open space, play equipment and for what age range.)

6. Design and the Environment

Design Guidance

- 6.1 Ledbury Town Council has produced a Design Guide and it was hoped to require this to be a consideration by referring to it within NDP policies. To do this requires the guidance needs to be in an adopted planning document which had been subject to community consultation. Having reviewed the document it is considered that some of the matters could be included as specific policies within the NDP and some other matters added and expanded upon in appendices. Additional related policy requirements might also be included, in particular aimed at encouraging sustainable development, mitigating and adapting to climate change, promoting active travel measures and to cover green infrastructure requirements. Detailed design guidance for buildings based upon assessment of locally distinctive features would take some time to prepare which would delay the NDP. One disadvantage, among others, of such a delay might be a longer period without a settlement boundary being defined. Therefore, development of a design guide is not proposed at this stage.

Question 11: Do you agree that that the NDP should include policies covering as wide a range of design matters as possible to include sustainable development and climate change? (Please tick one answer choice.)

Strongly agree	Agree	No Opinion	Disagree	Strongly disagree

7. Defining a Settlement Boundary

- 7.1 Further work was considered necessary for the NDP if it was to include a settlement boundary. There are both advantages and disadvantages to defining a settlement boundary. The principal benefits are considered to be that it provides greater clarity and certainty about where most forms of development might take place; protects the countryside and important landscapes; enables sites to be brought forward for development through consultation with the community rather than relying on windfall sites brought forward by others; and is a well understood and accepted planning tool. Disadvantages include that it can lead to 'cramming' inside the boundary; potentially increases land values; and leads to accusations of being a crude and inflexible approach. On balance, it is considered that a settlement boundary should be defined. Options might be influenced by how it is proposed development pressures should be accommodated. It is emphasised that currently the town has met and exceeded the required level of housing growth through policies in the Core Strategy and planning permissions and consequently this interim review does not propose any new housing sites. That should await a fuller review when the Core Strategy is rolled forward.
- 7.2 Options that are presented for consideration are:
- Option 1:** Not to define a settlement boundary but rely simply upon site allocations comprising those undeveloped housing sites with planning permission, the Core Strategy Strategic Housing site, and proposals for new uses identified by other studies.

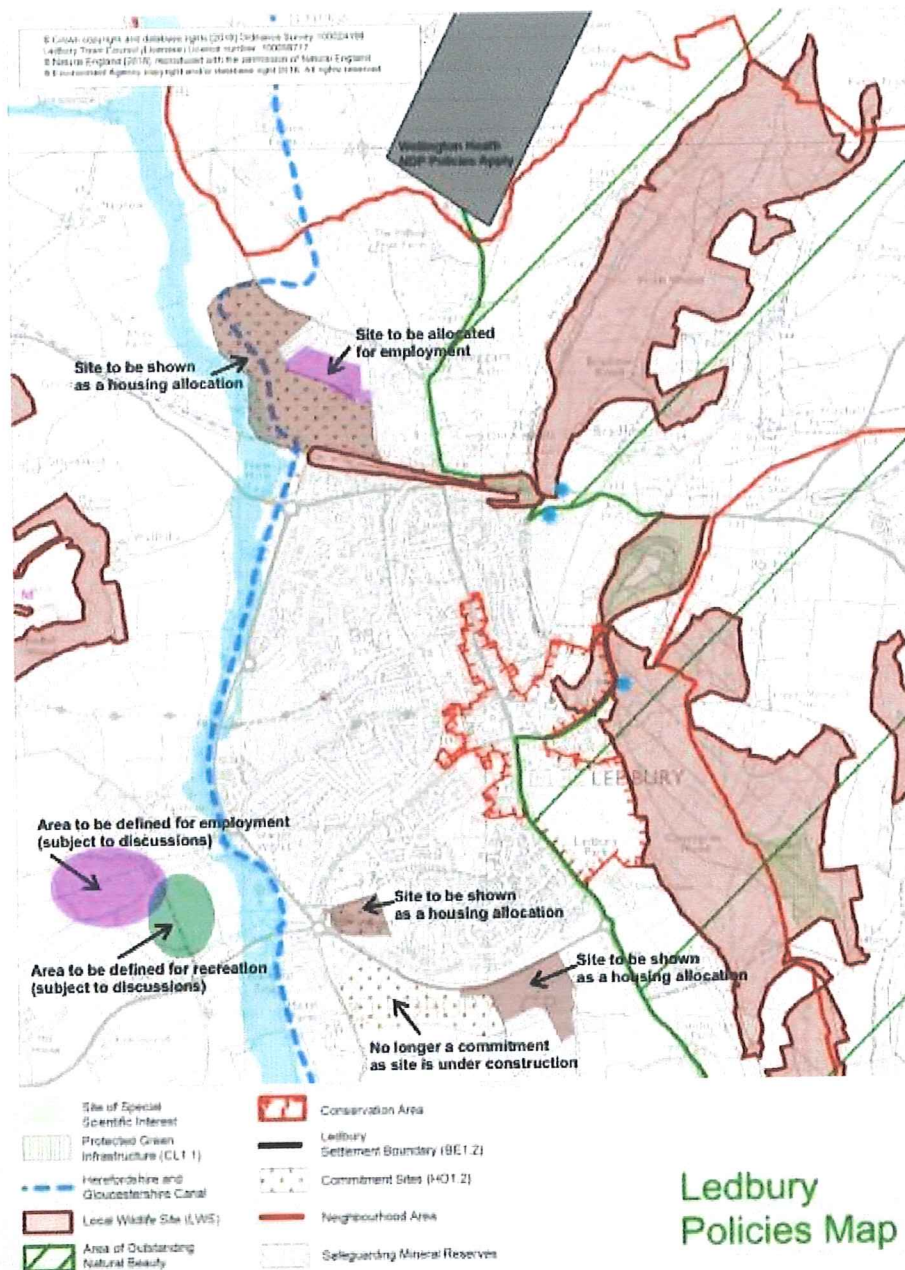


Figure 4: Settlement Boundary Option 1 – No Boundary (based on Current NDP Policies Map)

Advantages: Acts as a brake on land values; avoids development being crammed within a settlement boundary; offers flexibility in planning.

Disadvantages: Provides no certainty to landowners, developers and the community as to where development is likely to be acceptable or not; provides less control over development and less protection of the countryside.

Option 2: To utilise the former Herefordshire UDP boundary for the town, adding extensions to incorporate recent developments and sites with planning permission upon its edge together with allocating the proposed housing site to the north of the viaduct utilising the area defined for this within its planning application.

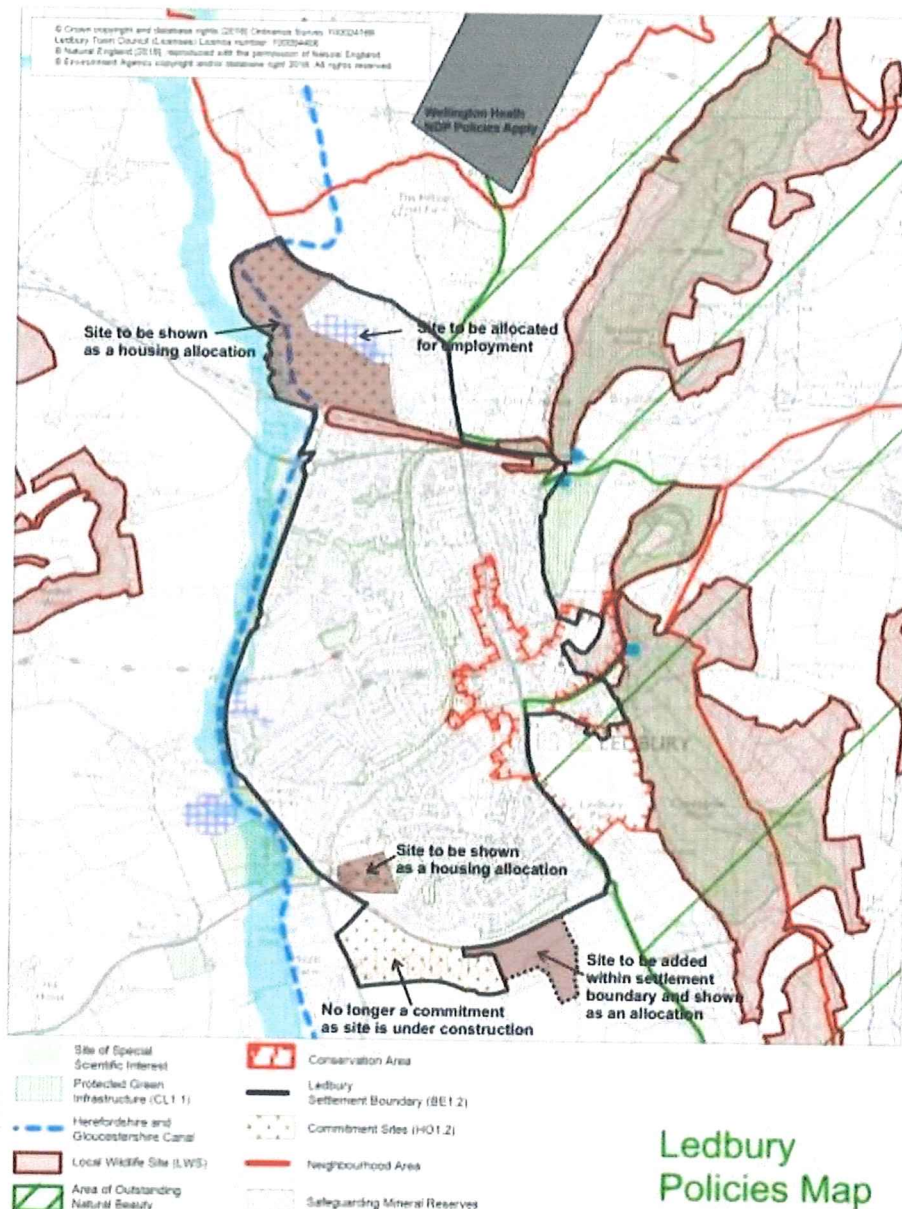
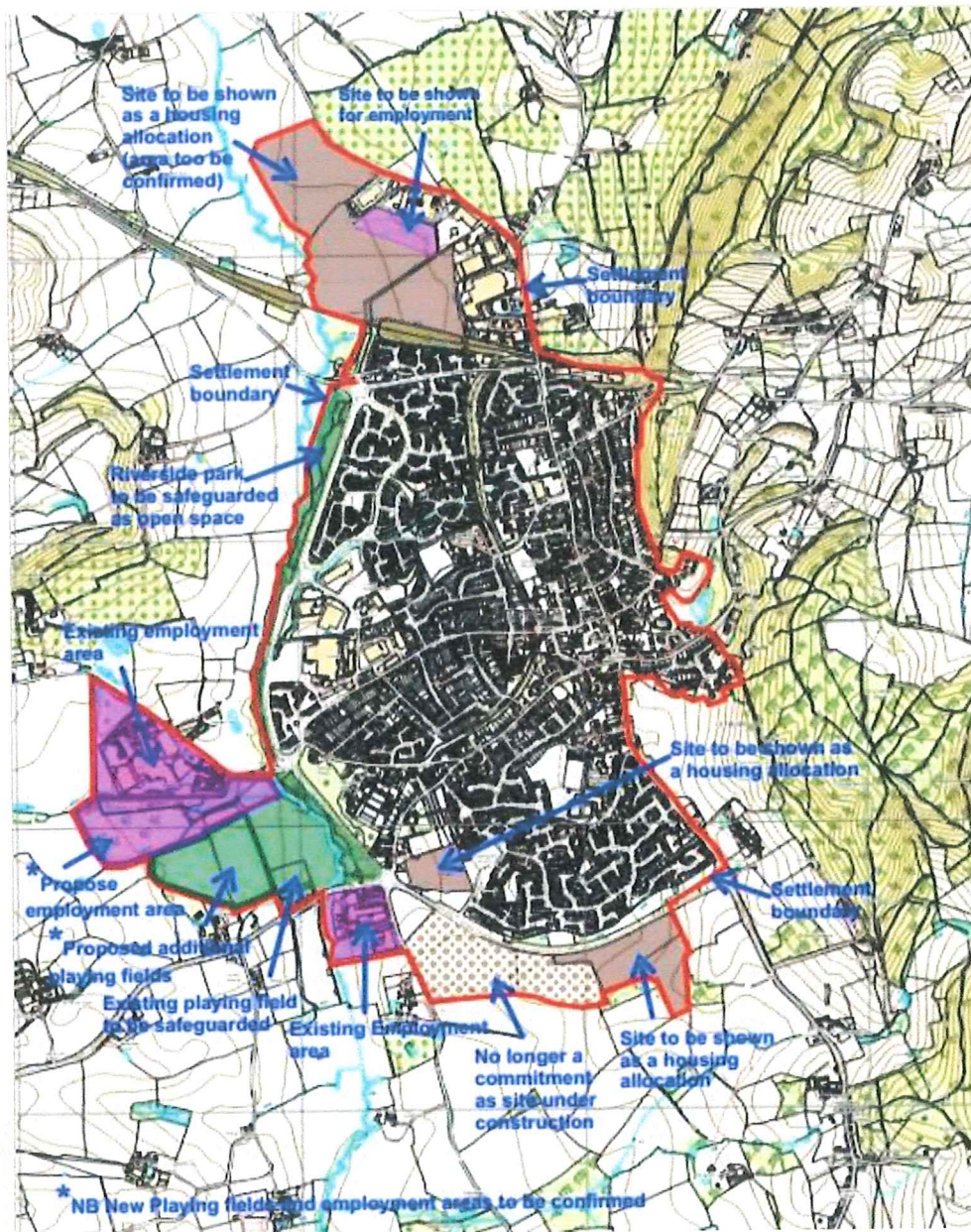


Figure 5: Settlement Boundary Option 2 – Boundary based on previous Draft NDP Submission removed at Examination with an extension for land recently granted planning permission.

Advantages: Implies that development will be limited by the boundary of the existing built area, which has been determined over time by topography, the AONB and River Leadon.

Disadvantages: Developers have been successful in challenging this boundary, notably in new housing developments south of Leadon Way. They continue to seek planning permission outside the UDP boundary, for example off Dymock road.

Option 3: To extend the settlement boundary defined above westwards to incorporate the Riverside Park, an area to be allocated for recreation and area for employment to the south of Little Marcle Road.



Advantages: This settlement boundary respects the constraints of topography, the AONB and River Leadon, with extensions to the west to protect the Riverside Park and to the south-west to meet Ledbury's present and future needs for recreation and employment land. It gives greater certainty to landowners, developers and community over where building is likely to be acceptable and where it is not. It will also help ensure a plan-led and controlled approach and protect the countryside from unnecessary development. In this respect, it is important that proposals are included to protect the green infrastructure network around the town, as outlined above.

Disadvantages: Opens up sites for development, especially south-west of Ledbury, which some may oppose. Reduces flexibility and opportunities for landowners and developers.

- 7.3 Given that a settlement boundary is the prime objective of this NDP revision, Ledbury Town Council believes that Option 3 gives greatest certainty and protection.

Question 12: Which of the settlement boundary options do you prefer?

(Please tick one option ONLY) **Or we could ask people to rank them? Which would you prefer?**

Option 1: Not to define a settlement boundary but rely simply upon site allocations comprising those undeveloped housing sites with planning permission, the Core Strategy Strategic Housing site, and proposals for new uses identified by other studies.

Option 2: To utilise the former Herefordshire UDP boundary for the town, adding extensions to incorporate recent developments and sites with planning permission upon its edge together with allocating the proposed housing site to the north of the viaduct utilising the area defined for this within its planning application.

Option 3: To extend the settlement boundary defined above westwards to incorporate the Riverside Park, an area to be allocated for recreation and area for employment to the south of Little Marcle Road.

8. Other Matters

- 8.1** The NDP may include a limited number of other matters although it is not intended to encompass a major review. Herefordshire Council has started a review of its Core Strategy although this may take some time before it is complete. This may identify further development needs for the town requiring a more significant review of the NDP.

Question 13: Bearing in mind that this is an NDP revision, do you have any other comments on the specific topics covered above or any other issues you wish to raise? (Please write your comments in the box below)

**LEDBURY TOWN COUNCIL
MINUTES OF THE
ECONOMY & TOURISM WORKING PARTY MEETING
HELD ON 22 FEBRUARY 2021 VIA ZOOM**

PRESENT: Councillors Morris, Bannister, Chowns and Knight
Non-Council Members: Christin Tustin, Griff Holliday, Celia Kellett, Caroline Green and Peter Arscott

ALSO PRESENT: Angela Price – Town Clerk
Nicola Young - Deputy Town Clerk

ET19 APOLOGIES

Apologies for absence were received from Councillor Howells and standing apologies from Carol Smith.

ET20 DECLARATIONS OF INTEREST (Councillors Only)

None received.

ET21 MINUTES

Action T6: The Clerk advised that there had been some confusion at the Economic Development & Planning Committee in respect of minute no. ET17 (T6) and asked for clarification. She explained that ED & P committee had not been sure whether there were two recommendations being made.

Councillor Morris advised that he had requested that enquiries be made as to whether it was feasible for the Council to apply for brown signs to be placed on the motorways and that he had anticipated that this would be via a telephone conversation rather than a letter at this stage.

Christine Tustin asked for clarification in respect of the proposed 2021/22 budget for the Explore Ledbury brochure and website. The Clerk advised that due to a number of anticipated underspends being identified within the 2020/21 budget it had been agreed not to increase the amount in the budget for Tourism and Economy. However, she advised that it had been agreed that should the Working Party request funds for the cost of the Explore Ledbury brochure and website and those costs exceed the budget allocation within the 2021/22 budget, funds would be made available from the Council's General Reserve.

RESOLVED that the minutes of the meeting of the Economic & Tourism Working Party held on 25 January 2022 be accepted as a true record.

ET22 HELEN BOWDEN, ORPHANS, PROVIDED AN UPDATE ON THE PROGRESS OF THE HEREFORDSHIRE TOURISM WEBSITE

Funding has been awarded to Orphans from the Local Enterprise Partnership (LEP) to assist with the development of a tourism website for the county of Herefordshire. This website is due to be launched on Monday, 1 March 2021 with its own county branding.

Herefordshire is:

- A multi-strand county
- Cross border
- Green county
- Food
- Culture and activities

Helen advised that Orphans have identified the target market as outdoors people who like activities. The website intends to give the visitor a real experience of the whole county.

The website will include a page for each market town, including Ledbury, and items such as "Out & About around Ledbury", listings for cafés, hotels, and tourist attractions, however, it will not include shopping venues and destinations.

Herefordshire Council are currently working with Mosaic Partnership on a Destination BID, which they hope to be able to submit for a referendum in June 2021.

A discussion took place about the Ledbury Tourist Information Centre (TIC), in that it was hard to make contact and perhaps placed a little too far out of town.

RECOMMENDATION:

- 1. That the issue of the TIC be considered as part of the Task and Finish Group.**
- 2. Caroline Green and Christine Tustin will work with Helen Bowden on the Ledbury page of the new Herefordshire tourism website.**

ET23 ACTIONS FROM THE PREVIOUS MINUTES

a. Task & Finish Groups:

- The inaugural meeting of the Market Task & Finish Group, to discuss the development of the Charter Market and seasonal markets be scheduled for Monday, 1 March 2021 at 2pm via Zoom. The members of that group will be:

Councillor Bannister
Councillor Knight

Councillor Chowns
Caroline Green
Deputy Clerk
Town Clerk

- ii. That the report prepared by Mr Holliday regarding a suggested Ledbury tourism layout and website contact would be discussed at the Task & Finish Group.
- iii. The inaugural Tourism Website and Brochure Task & Finish Group, to review the Herefordshire Tourism website, develop a content list for Ledbury tourism website, develop branding and tourism brochure, be scheduled for, Tuesday, 2 March 2021 at 2pm via Zoom. The members of that group will be as follows:

Councillor Howells
Councillor Morris
Councillor Knight
Christine Tustin
Caroline Green
Deputy Clerk
Town Clerk

Actions:

- Caroline Green to distribute the Herefordshire Tourism website link.
- Members give consideration to items for inclusion within the Tourism Website and Brochures ahead of the Task & Finish meeting.
- Real Herefordshire website will be having 3 words per month, which will give a description of what is happening/available in the county – could this be replicated in Ledbury website.

ET24 WORKING PARTY ACTION PLAN

Following discussion on the Action Plan the updates were agreed:

Projects to Achieve Goals column: Recommendations/actions in **bold**.

Tourism

T1 Work with Visit Herefordshire web developers: update that Helen Bowden had attended a WP meeting and meeting has agreed points of contact.

T4 Explore Ledbury brochure
T5 Explore Ledbury website

Tourism website and brochures Task & Finish Group meeting scheduled for Tuesday. 2 March 2021.

T6 Tourism brown signs on main roads leading to Ledbury, i.e., M50:

Action:

1. Enquiries to be made into the feasibility of Ledbury Town Council proceeding with the request for brown signs to be placed on the motorways as per minute no. ET17 and that following those enquiries the Deputy Clerk submit a report to the Economic Development and Planning Committee for consideration.

Town Marketing

TM2 **Action:** Remove c. mobile app.

TM3 Establish a Ledbury Business Directory

Councillor Harvey had suggested at a meeting of ED & P committee, that this information may be available from Herefordshire Council and that she would looking into what information Herefordshire Council can supply to assist with compiling the directory.

TM4 To coordinate the Town Council newsletter

The Town Clerk reported that the Committee had accepted the recommendations in the report and requested the Deputy Clerk to draft a policy.

Charter Market

CM2 **There is a** Charter Market Criteria in the form of Terms and Conditions which is currently under review.

CM4 Task & Finish Group as above.

Market House

MH2 The Working Party had previously considered whether the Council should employ the services of a consultant to investigate how the Market House can become DDA compliant. Councillor Bannister advised that the Environment & Leisure Committee had been provided with paperwork regarding historic assessments of the building.

Griff Holliday advised that Ledbury Places had carried out a study on possible works that could be carried out on the Market House, about 5-years ago, the Clerk stated she was aware of this but and that she intended to contact the Chair of Ledbury Places to ask whether it would be something they would allow to be shared with the Group.

Councillor Knight also stated that she had received paperwork from ex-Councillor Barnes, which the Clerk was aware of

ET25 DATE OF NEXT MEETING

RESOLVED:

To note that the next meeting of the Economy & Tourism Working Party is scheduled for Monday, 22 March 2021 at 2.00 pm via Zoom.

The meeting ended at 3.05pm

Signed: Date:
Chairman



Habitat Regulation Assessments (HRA) of Neighbourhood Development Plans within the River Lugg hydrological catchment area

Position Statement update

1 March 2021

The River Lugg is a tributary of the River Wye and forms part of the River Wye Special Area of Conservation ("River Wye SAC") from Hope under Dinmore. The River Lugg hydrological catchment area ("River Lugg Catchment Area") covers predominantly the north of Herefordshire and includes the catchments of the River Arrow and the River Frome. The River Lugg is currently exceeding its limits for phosphates as a result of water pollution from both 'point' source (in particular sewerage outlets) and 'diffuse' source (in particular agricultural run-off). A map showing this area is attached below.

To date, Herefordshire Council's approach, which has permitted the continued progression of neighbourhood plans in the River Lugg Catchment Area, has been based on previous legal advice sought following the 'Dutch Case'. That advice was that the application of Policy SD4 of the Core Strategy would ensure that the neighbourhood plan provides no pathways to adverse effects on the integrity of the River Wye SAC. Previous position statements are available [here](#)

There are a number of draft neighbourhood plans progressing for areas that are located within the River Lugg Catchment Area which the Council has received recent consultation comments from Natural England ("NE") upon. NE have stated their view that the neighbourhood plans are unable to demonstrate there will be no likely significant effects, on the basis that the Nutrient Management Plan no longer offers sufficient certainty that the phosphate targets in the River Lugg can be met, is unable to mitigate against the effects of development in the River Lugg Catchment Area and the strategic mitigation provided by Policy SD4 of the Core Strategy cannot guarantee scientific certainty with regards to water quality and therefore should not continue to be relied upon in policy terms.

Although the neighbourhood plans themselves do not grant planning permission for development they are subject to compliance with The Conservation of Species and Habitats Regulations 2017 as the regulations apply to any plan as well as any developments requiring planning permission.

Until it can be demonstrated that there are no adverse effects on the integrity of the River Lugg Catchment Area as a result of the proposed allocations in the neighbourhood plan, the Council is unable to continue to promote a neighbourhood plan which allocates sites for residential development within the catchment area.

Therefore until water quality conditions improve sufficiently and measures and/or treatment works are in place to conclude that there would be no adverse effect on the River Lugg Catchment Area, the neighbourhood plans will fail part of the 'Basic Conditions' test.

The basic conditions include compliance with the Conservation of Species and Habitats Regulations 2017. In order to progress neighbourhood plans and meet the basic conditions it is necessary for the Nutrient Management Plan to provide sufficient certainty and improvements to the water quality in the River Lugg Catchment Area, which as referred to above, it cannot at this point in time.

Therefore at this stage any neighbourhood plans within the River Lugg Catchment Area will be subject to the following:

- Those neighbourhood plans awaiting referendum **cannot be made/adopted** notwithstanding if they achieve a positive referendum result as they will be unable to meet the requirements of the basic conditions. This includes neighbourhood plans where the referendum has been placed on hold due to the Coronavirus Act 2020 as the advice on not being able to comply with the basic conditions has been received post issuance of the examination report and Decision Document.
- On completion of the consultation by the parish council at Regulation 14, they would normally submit a suite of documents to the local planning authority including a statement at Regulation 15 which would need to explain how the neighbourhood plan meets the requirements of the basic conditions (The Basic Condition Statement). At the present time, due to the failing water quality levels in the River Lugg Catchment Area, **it is not possible** for the parish council to demonstrate that this part of the basic conditions can be met.

Whilst the parish council could submit the required information at Regulation 15 to progress, the Council would strongly **advise not to** proceed to Regulation 16 consultation as beyond that the examination would incur costs, would **fail the basic conditions** and **would not be able to proceed to referendum**.

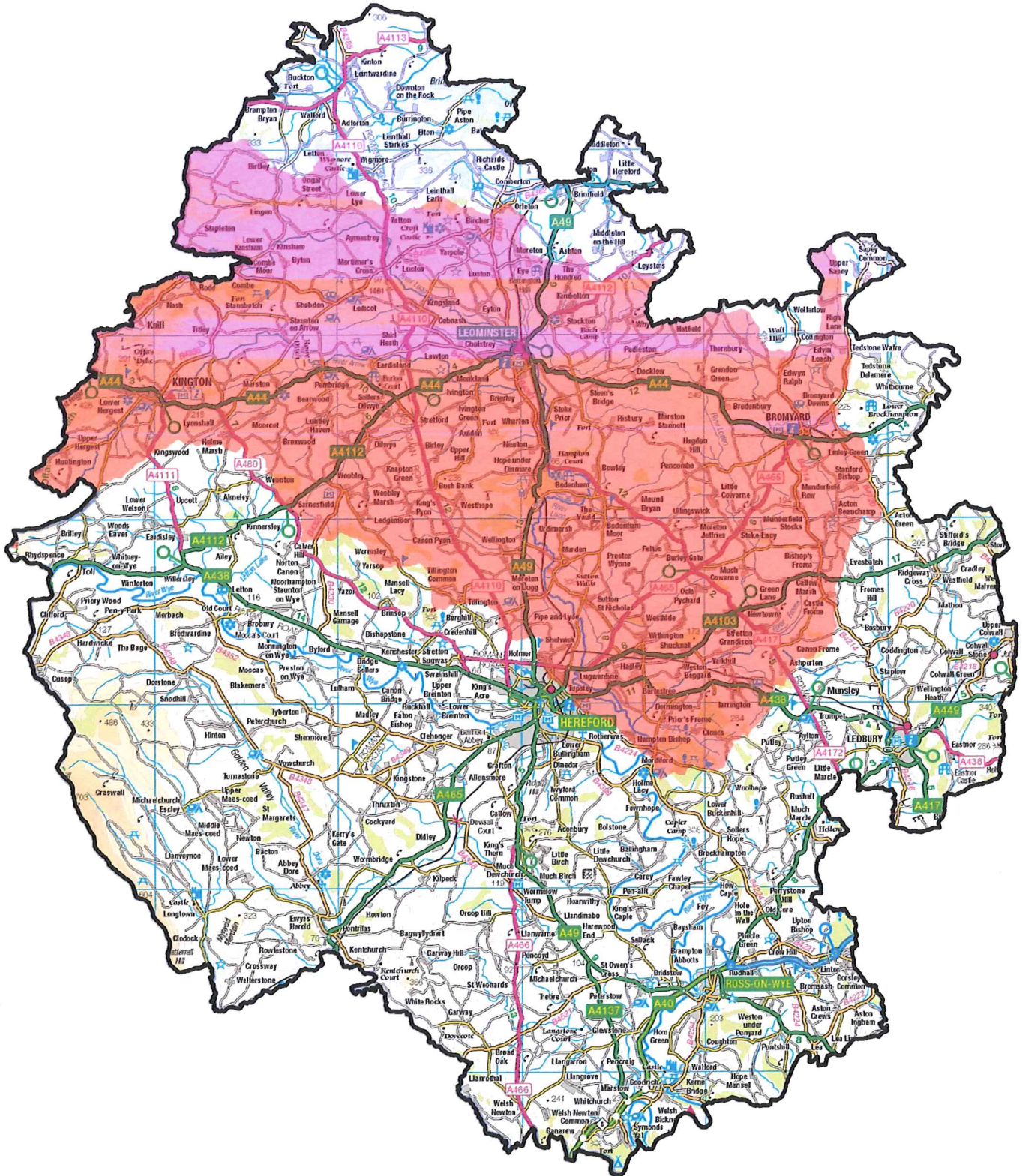
- As part of the consultation on the neighbourhood plan at Regulation 14, the Council produce an HRA for the parish council. The Council **will not be able** to produce an HRA demonstrating that there will be no likely significant effects on the River Lugg catchment area.

It is important to stress that this is the current position and advice, this is a complex situation with many moving parts and the Council are actively working with partners through the Nutrient Management Board to address the phosphate issues within the River Lugg Catchment Area. This issue is also being raised nationally. For up to date information and position statements on the progress of work to address this, they can be found [here](#)

River Lugg Catchment Area

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NORTH
NOT TO SCALE



ECONOMIC DEVELOPMENT & PLANNING COMMITTEE	11 MARCH 2021	AGENDA ITEM: 16
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Report prepared by Angie Price – Town Clerk

REQUEST FOR LEDBURY TOWN COUNCIL TO APPLY FOR A LICENCE TO CULTIVATE

Purpose of Report

The purpose of this report is to ask members of the Economic Development & Planning Committee to give consideration to applying for the Licence to Cultivate land adjacent to Queens Walk and the bedding areas opposite Bye Street Public Toilets.

Detailed Information

A request has been received via the Climate Change forum, from Ledbury Naturalists in respect of a Licence to Cultivate land adjacent to Queen's Walk and the area opposite the Bye Street Toilets (known as Bye Street Garden).

When applying for a Licence to Cultivate, the Town Council will be the holder of the Licence which can allow for a third party to maintain the area in question.

i. Queen's Walk

Historically, it was believed that Ledbury in Bloom had been managing the Queen's Walk area, however following discussions with Herefordshire Councils Outdoor Recreation Officer, it would appear that this was not the case and currently there is no Licence to Cultivate in place in respect of this area.

Ledbury Naturalists volunteers would like to take up the management of the area and it would be their intention to plant nectar rich plants, both native and non-native, (with the emphasis on native plants) to attract pollinators and insects. Volunteers from the club are happy to work with the Town Council regarding planting and maintenance within this area of land.

Ledbury Naturalists have been asked to provide a map of the area, with their layout proposals, along with more detailed information on the plants they would wish to plant. This information will be required by Herefordshire Council should this Council agree to proceeding with the Licence to Cultivate.

ii. Bedding plot opposite public toilets (“Bye Street Garden”)

Recently the Bye Street Garden has been cultivated with native and non-native pollinators to attract insects and wildlife by families who home school their children. The area has been transformed by the efforts of the group; Unfortunately, the COVID-19 lockdown has made it difficult for these families to continue to maintain this area and the group has reduced in size.

Ledbury Naturalists volunteers would like to support this initiative and help with maintenance of the site. No further information on how they would intend to manage this have been provided, and therefore it is to be assumed that they intend to continue the work already undertaken by the home school families.

As with the Queen’s Walk request, Ledbury Naturalists have been asked to provide details of the proposal to manage this area as part of a Licence to Cultivate.

Recommendation

That Members of the Economic Development & Planning Committee instruct the Town Clerk to proceed with a “Licence to Cultivate” request for Queen’s Walk and the “Bye Street Garden” subject to receipt of detailed proposals from Ledbury Naturalists.

Agenda 17

Items for Economic Development and Planning Committee consideration											
Priority	Actions	Target date	Committee Lead	Stakeholders	Comment	Already do	Doesn't Cost anything	No Bandwidth to do	Cost Associated	Priority	Budget
	To encourage and support formal and informal cooperation and knowledge sharing between local businesses and employers.	2020/21	ED&P	ED&P	combine with below						
	To explore benefits of organised business forums and lobbying groups, e.g. creation of a local Chamber of Commerce, Business Improvement District, Business Breakfast Club, etc.	2020/21	ED&P	ED&P	Investigate the way forward for each of these initiatives taking learning from City and other market towns						
	To lobby the Local Authority to secure investment in Technology & Enterprise projects in the town	2020/21 onwards	ED&P	ED&P	Liaison with HC inc on Economic Development	✓	✓				
	Work with county council to ensure car park charging tariffs, on street parking, parking restrictions, lining and signage meets local needs.	2020/21 onwards	ED&P	ED&P	Liaison via ward members	✓	✓				
	Invest in online and printed promotional material in support of local events and to encourage visitors and promote the local economy	2020 onwards	ED&P	ED&P, E&L	Strategy & Plan for town promotion				✓		✓
	Work with county council planners and local landowners to achieve sustainable growth by bringing forward local employment sites alongside new homes and improved community infrastructure	Continuous	ED&P	ED&PNDP	NDP and link to above on ED liaison	✓	✓				
	Consider the introduction of community led housing schemes	2021/22	ED&P	ED&P	NDP and link to above on ED liaison						
	Lobby for improved links to the emerging Hereford University initiative	2020/21	ED&P	ED&P	Via Ward members						
	Plan to map/record all the footways as well as the PROW, cycle and bridleways in the parish. Identify extensions and enhancements to the network and promote the walking and cycling opportunities in the area. e.g. Herefordshire has a Walking Festival which we could take a more active part in. To be carried out via NDP	2020/21 with the help from the NDP Working Party	ED&P	ED&P	NDP but also footpath warden	✓					
	Develop a Public Realm management plan for the town centre and footpaths etc. to sit alongside the Greenspace Management Plan	2021/22	ED&P	ED&P	Develop a Public Realm management plan and link to Infrastructure Delivery Plan		?	?			
	Work with HC and local lobbying and user groups to secure improvements to public transport services	2020 onwards	ED&P	ED&P	GHAL, We Love Our Bus groups and liaison with ward members						
	Work with local stakeholders, landowners and HC planners to Improve facilities at/serving the train station	2020 onwards	ED&P	ED&P	NDP & liaison with ward members	✓	✓				
	Promote road safety and take an active approach to traffic management in partnership with HC	Continuous	ED&P	ED&P	Working Party & liaison with ward members						
	Invite non-Councillor representatives to sit on Economic Development & Planning and Environment & Leisure committees	Annually	ED&P	ED&P	Via Large Application WG etc	✓	✓				
	Encourage local businesses to provide work experience places for all groups	Continuously	ED&P	ED&P	Promote opportunities in liaison with HC & ward members - LAC employment and KickStart2020						
	To promote equality for our armed forces families within the town	Continuously	ED&P	ED&P	Forces covenant - promote through website						
	Introduce a Ledbury business of the Year Award	2021/22	ED&P	ED&P	Link to Business Forum/Chamber formation						
	Work in partnership with Herefordshire Council through the Ledbury Neighbourhood Plan when considering planning applications to ensure Ledbury	Annually	ED&P	All Committees	... primarily through effective working with ward members						
	Work with providers of public transport to ensure the needs of the community are met	2020 onwards	ED&P	E&L							

	Continue to develop the Neighbourhood Development Plan	To be adopted by May 2021	ED&P	ED&P		✓					✓
	To provide public toilets and baby changing facilities in the town	2020/21	ED&P	E&L							
	To continue to work with residents on traffic management issues	2019 onwards	ED&P	ED&P		✓	?		✓		
	Produce a business plan for the Painted Room	2020/21	ED&P	E&L	Possible link to Ledbury Places engagement		✓	?			
	Develop and promote the Council Offices and the Market House as the Heart of the Tourist focus in Ledbury	2021/22	ED&P		Link to Ledbury Places/Civic Soc dialogue and to Tourism WG				✓		✓
	Work with the community and stakeholders to ensure land for sporting activities is available	2020/21 via NDP Working Party	ED&P	E&L	Neighbourhood Plan and Ward Members	✓					
	Publish up to date Tourist leaflet	2019/20	ED&P		Tourism WG	✓			✓		✓
	Consider possible Blue Plaque sites within Ledbury	2021/22	ED&P	E&L							
	Promote Ledbury more effectively as an attractive visitor destination	Continuously	ED&P		Tourism WG	✓			✓		✓
	Develop and improve facilities to make visitors welcome	Continuously	ED&P	E&L	Ledbury Places, Tourism WG, Public Realm plan	✓					
	Build relationship with schools, churches, voluntary organisations and businesses to encourage them to be globally responsible in line with the Global development target list - https://sdg.humanrights.dk/goals-and-targets	2020/21 onwards	ED&P		Link to Climate action for Ledbury and social justice/responsibility pledge?						
	Initiate and work with local traders to promote Shop Local Campaign	2021/22	ED&P		Through business forum	✓			✓		

ECONOMIC DEVELOPMENT & PLANNING COMMITTEE	11 MARCH 2021	AGENDA ITEM: 18
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THE FARM, BOSBURY, WOODLAND MANAGEMENT PLAN CONSULTATION

Purpose of Report

The purpose of this report is to bring to Members attention correspondence received from Pryor & Rickett Silviculture in respect of a Woodland Management Plan for The Farm, Bosbury.

Detailed Information

The attached proposed Woodland Management Plan has been received for consideration by Ledbury Town Council.

The covering email advises that there is a requirement to consult with various stakeholders, who may have interest in the woodlands within the plan, and as it falls within the Parish Boundary this would include Ledbury Town Council.

The request is for Ledbury Town Council to provide any feedback they would wish to offer within 4-weeks from the date of the letter (17 February 2021). Therefore, should the council wish to make any comments these should be provided no later than Wednesday, 17 March 2021.

Recommendation

Members of the Economic Development & Planning Committee are requested to give consideration to the attached proposed Woodland Management Plan and provide feedback no later than 17 March 2021.

Ledbury Town Council

Sent via Email

17 February 2021

RE: The Farm, Bosbury Woodland Management Plan

Dear Sir/Madam,

I am writing to you on behalf of Mrs Sarah Hawkins of The Farm, Bosbury in relation to the Parish Council providing feedback to our proposed woodland management plan for my client's woodlands, part of which fall within the Town Council Boundary. As part of the plan process, I am advised to consult with various stakeholders, who may have interest in the woodlands within the plan.

Site Description

The Farm woodlands are located to the northwest of Ledbury within the County of Herefordshire and is split in two distinct management compartments centred around Stanley Hill in the North and Staplow in the South. The 22.71 hectares of woodland lie between an elevation of 130 metres near Stanley Hill to 60 metres around the confluence of the Rivers Leadon & Stony Brook. The geology is typical of the area with a bedrock of interbedded Siltstone & Mudstone, with clayey brown earths overall, with alluvial deposits along the riverbanks. This allows for the main land holdings to comprise from a mixture of arable and orchards, predominantly hops, potatoes and cider apples.

The woodland blocks on the estate range in size from 3.71 hectares down to 0.05 hectares, which strengthens the patchwork feel to the landscape. The woodlands consist of mainly broadleaved parcels with the occasional conifer plantation. The blocks range in age from young newly planted shelter belts to established ASNW. Veteran trees are identifiable across the estate and within some of the woodland blocks, these are predominantly Oak species.

Long-term Vision

The long term vision is to gradually restructure the woodland parcels from single species to more diverse mixed woodlands, to ensure that they are resilient against current threats, and adaptable to future climatic change. This will be done by carefully thinning, felling, and restocking with native and semi-native species. The main aim is to provide valuable corridors for wildlife, whilst also being utilised as shelter belts to protect adjacent arable and orchard crops.

Harvesting & Establishment

To date there have been small scale clearfelling and thinning of the existing woodlands to allow for the understorey to regenerate, whilst maintaining woodland cover. Going forward this approach will continue where viable and where the outbreak of Ash Dieback has not been too vigorous.

Where there has been outbreaks of Ash Dieback, these woodlands will be felled and restocked with a mixture of tree species to bolster the resilience of the surrounding woodlands. The use of single species conifer blocks will discontinue and a blend of conifer and broadleaved species will return.

In the predominantly ASNW & semi natural woodland areas, native tree species have and will continue to predominate the species used for restocking / regenerating compartments. Planting is the preferred route for establishing successor crops. Native growing stock from local and national sources will be planted, with natural regeneration being accepted into restocking areas to assist with achieving long term silvicultural objectives. When restocking, consideration will be given to specific requirements to protect newly planted trees and coppice from deer browsing damage. The requirement to successfully protect will vary with sub compartment, location, presence of deer and species choice. Larger compartments with a high proportion of deer palatable species are likely to be temporarily fenced. Stands with a modest level of palatable species will have individual tree protection provided on the palatable species.

Restocking will ensure that diversity in species composition is achieved so that no more than 75% of the forest management unit is allocated to a single species and a minimum of the following are incorporated;

- 10% open space
- 10% of other species or ground managed for environmental objectives
- 5% native broadleaved trees or shrubs.

Public access and impacts on local people

The woodlands are not open to the public, but public rights of way do pass through a number of the woods (see map 1). These routes will be maintained during the course of the woodland works, however where forest operations are likely to encroach into these areas then the appropriate warning signage will be put in place and checked as appropriate. Where access to a statutory route is unavoidably restricted due to forest operations then a temporary closure order will be sought from the local authority.

The woodlands on the estate are served by a number of minor roads which could in the event of large volumes of timber being removed create issues with timber traffic. The works being proposed are only likely to generate relatively small timber volumes and where possible hauliers should vary their routes in to try to minimise damage that may result to the local roads and be considerate to local communities.

Measures to mitigate impacts on landscape and neighbouring land

Clearfell coupes, specifically the larger ones, will be designed to take account of land form and impacts on neighbours. Sufficient retentions, and attention to coupe shape and neighbours' interests will mitigate against major impacts on either landscape or neighbouring land. Other harvesting operations consist of thinning and should not have an adverse impact on the local landscape.

Summary

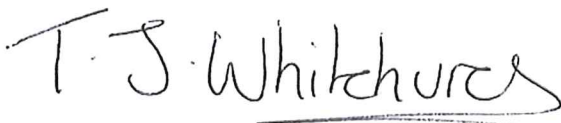
The owner is committed to the management of the woodlands. It is recognised that positive woodland management activity leads to the delivery of high quality timber, high woodland aesthetics and the delivery of higher biodiversity values. The owner will continue to actively manage the woodlands with these key aims, seeking opportunities to create improved biodiversity, through felling and restocking / regeneration and improve the silvicultural growing stock of the woodland for the benefit of future generations. A gradual and targeted felling regime, combined with successful re-establishment and regeneration is aimed at achieving this.

I have enclosed, as attachments, a copy of the current draft woodland management plan, associated maps, and plan of proposed operations.

I would appreciate any feedback which the Parish Council may have to offer, within 4 weeks from the date of this letter.

If I can be of any further assistance or if there is anything which requires clarification, please do not hesitate to contact me.

Yours Sincerely,



Tom Whitchurch BSc (Hons) MICFor

Forest Manager

1854

Woodland Management Plan

To be completed by the plan author:	
Woodland or Property name	The Farm Woodlands
Woodland Management Plan case reference	
The landowner agrees this plan as a statement of intent for the woodland	Yes/No
Plan author name	Thomas Whitchurch

For FC Use only:			
Plan Period (dd/mm/yyyy - Ten years)	Approval Date:		Approved until:
Five Year Review Date			

Revision No.	Date	Status (draft/final)	Reason for Revision

Template user support:

The functionality in this version of the management plan template has been downgraded to ensure compatibility with Word 2003. This document is not protected and as such rows can be added & deleted or copied and pasted from tables where needed.

1853



UK Forestry Standard management planning criteria

Approval of this plan will be considered against the following UKFS criteria.
Prior to submission review your plan against the criteria using the check list below.

UKFS management plan criteria		Minimum approval requirements	Author check <input checked="" type="checkbox"/>
1	Plan Objectives: Forest management plans should state the objectives of management and set out how an appropriate balance between social, economic, and environmental objectives will be achieved.	<ul style="list-style-type: none"> Management plan objectives are stated. Consideration is given to environmental, economic and social objectives relevant to the vision for the woodland. 	Yes
2	Forest context and important features in management strategy: Forest management plans should address the forest context and the forest potential and demonstrate how the relevant interests and issues have been considered and addressed.	Management intentions communicated in Sect. 6 of the management plan are in line with stated objective(s) Sect. 2 . Management intentions should take account of: <ul style="list-style-type: none"> Relevant features and issues identified within the woodland survey (Sect. 4) Any potential threats to and opportunities for the woodland, as identified under woodland protection (Sect. 5). Relevant comments received from stakeholder engagement and documented in Sect. 7. 	Yes
3	Identification of designations within and surrounding the site: For designated areas, e.g. National Parks or SSSI, particular account should be taken of landscape and other sensitivities in the design of forests and forest infrastructure.	<ul style="list-style-type: none"> Survey information (Sect. 4) identifies any designations that impact on woodland management. Management intentions (Sect. 6) have taken account of any designations. 	Yes
4	Felling and restocking to improve forest structure and diversity: When planning felling and restocking, the design of existing forests should be re-assessed and any necessary changes made so that they meet UKFS requirements. Forests should be designed to achieve a diverse structure of habitat, species and ages of trees, appropriate to the scale and context. Forests characterised by a lack of diversity, due to extensive areas of even-aged trees, should be progressively restructured to achieve age class range.	<ul style="list-style-type: none"> Felling and restocking proposals are consistent with UKFS design principles (for example scale and adjacency). Current diversity (structure, species, age structure) of the woodland has been identified through the survey (Sect. 4). Management intentions aim to improve / maintain current diversity (structure, species, and ages of trees). 	Yes
5	Consultation: Consultation on forest management plans and proposals should be carried out according to forestry authority procedures and, where required, the Environmental Impact Assessment Regulations.	<ul style="list-style-type: none"> Stakeholder engagement is in line with current FC guidance and recorded in Sect. 7. The minimum requirement is for statutory consultation to take place, and this will be carried out by the Forestry Commission. Plan authors undertake stakeholder engagement (ref FC Ops Note 35) relevant to the context and setting of the woodland. 	Yes
6	Plan Update and Review: Management of the forest should conform to the plan, and the plan should be updated to ensure it is current and relevant.	<ul style="list-style-type: none"> A 5 year review period is stated on the 1st page of the plan. Sect. 8 is completed with 1 indicator of success per management objective. 	Yes

Section 1: Property Details

<u>Woodland Property Name</u>		The Farm Woodlands	
Name	Mrs Sarah Hawkins	Owner	Tenant
Email	sarah@thefarmbosbury.com	Contact Number	01531 640405
Agent Name (if applicable)		Thomas Whitchurch	
Email	tom.whitchurch@silviculture.co.uk	Contact Number	01432 851311
County	Herefordshire	<u>Local Authority</u>	Herefordshire
Grid Reference	SO691424	Single Business Identifier	106196728
What is the total area of this woodland management plan? (In hectares)		22.72	
You have included an Inventory and Plan of Operations with this woodland management plan?		Yes	
You have listed the maps associated with this woodland management plan?		1 – Location Map 2 – Compartment Map – North 3 – Compartment Map – South 4 – Operations Map – North 5 – Operations Map – South 6 – Constraints Map – North 7 – Constraints Map – South	
Do you intend to use the information within this woodland management plan and associated Inventory and Plan of Operations to apply for the following?		Felling Licence	Yes
		Thinning Licence	Yes
		Woodland Regeneration Grant	Yes
You declare that there is management control of the woodland detailed within the woodland management plan?		Yes	
You agree to make the woodland management plan publicly available?		Yes	

Section 2: Vision and Objectives

To develop your long term vision, you need to express as clearly as possible the overall direction of management for the woodland(s) and how you envisage it will be in the future. This covers the duration of the plan and beyond.

2.1 Vision

Describe your long term vision for the woodland(s). *(Suggest 300 words max)*

The gradual restructuring of the woodland parcels to ensure that they are resilient, and adaptable to future climatic change. This will be done by carefully thinning and felling, and restocking with native and semi-native species. The main aim is to provide valuable corridors for wildlife, whilst also being utilised as shelter belts to protect adjacent arable and orchard crops.

2.2 Management Objectives

State the objectives of management demonstrating how sustainable forest management is to be achieved. Objectives are a set of specific, quantifiable statements that represent what needs to happen to achieve the long term vision.

No.	Objectives (include environmental, economic and social considerations)
1	Provide shelter for arable and orchard crops
2	Maintain the Estate's patchwork of woodland parcels
3	Generate timber for the Estate's Biomass generator
4	Restructure the existing woodlands to remove Ash species
5	Create a more species diverse woodland habitat
6	Enhance riparian woodland parcels blocks by removing some conifer species
7	Maintain woodland cover for sporting interests
8	Enhance the ecological value of Veteran Trees within the Estate

Section 3: Plan Review – Achievements

Use this section to identify achievements made against previous plan objectives. This section should be completed at the 5 year review and could be informed through monitoring activities undertaken.

Objectives	Achievement

Section 4: Woodland Survey

This section is about collecting information relating to your woodland and its location, including any statutory constraints i.e. designations.

4.1 Description

Brief description of the woodland property:

The Farm estate is located to the northwest of Ledbury within the County of Herefordshire and is split in two distinct management compartments centred around Stanley Hill in the North and Staplow in the South. The 22.71 hectare of woodlands lie between an elevation of 130 metres near Stanley Hill to 60 metres around the confluence of the Rivers Leadon & Stony Brook. The geology is typical of the area with a bedrock of interbedded Siltstone & Mudstone, with clayey brown earths overall, with alluvial deposits along the riverbanks. This allows for the main land holdings to comprise from a mixture of arable and orchards, predominantly hops, potatoes and cider apples.

The woodland blocks on the estate range in size from 3.71 hectares down to 0.05 hectares, which strengthens the patchwork feel to the landscape. The woodlands consist of mainly broadleaved parcels with the occasional conifer plantation. The blocks range in age from young newly planted shelter belts to established ASNW. Veteran trees are identifiable across the estate and within some of the woodland blocks, these are predominantly Oak species.

The Farm

The woodlands centre around the wider estate, with the farm at its centre. A few of them border the old Herefordshire canal and the River Leadon. The blocks are predominantly composed of mixed broadleaves with a variety of established Oak and Ash blocks with younger more diverse areas dotted around the established woodland fringes and field corners. There are also several ponds within some of the woodland blocks. There has been some heavy thinning of the Ash dominated blocks over the last few years with new

woodland creation parcels being added on to enlarge some of the blocks. Public access is along defined rights of way, of which some appear to have never been used, although the headlands abutting many of the woodlands are regularly used as part of the agriculture and fruit production parts of the estate's holding.

Millend Farm

The woodland parcels here centre around Millend Farm & Stanley Hill, ranging from established ASNW to more recently planted Ash shelter belts and woodland creation coupes. There are several unmanaged conifer areas, primarily adjacent to the River Frome. The estate has started to thin out Ash from several compartments with the view to having more diverse woodlands but also for disease resilience. There are a number of rights of way through some of the smaller blocks and most are home to the estate's shoot and also as cover for deer management. This management area is home to Birchend SSSI, which covers one portion of the woodland holding, although the SSSI extends beyond the ownership of the Estate. The geology of the SSSI consists of predominantly mudstone & siltstone to the west with a calcium rich limestone vein to the east. Birchend has been designated a SSSI for its calcareous grassland, as well as its W8 & W12 broadleaved woodlands.

4.2 Information

Use this section to identify features that are both present in your woodland(s) and where required, on land adjacent to your woodland. It may be useful to identify known features on an accompanying map. Woodland information for your property can be found on the [Magic](#) website or the Forestry Commission [Land Information Search](#).

Feature	Within Woodland(s)	Cpts	Adjacent to Woodland(s)	Map No
Biodiversity- Designations				
Site of Special Scientific Interest	Yes	11	Yes	6
Special Area of Conservation	No		No	
Tree Preservation Order	No		Yes	
Conservation Area	No		No	
Special Protection Area	No		No	
Ramsar Site	No		No	
National Nature Reserve	No		No	
Local Nature Reserve	No		No	
Other (please Specify):	No		No	
Notes				

Feature		Within Woodland(s)	Cpts	Map No	Notes
Biodiversity - European Protected Species					
Bat	Species (if known)	Yes	12a,12b, 12c,13a, 6b, 6c		Lesser horseshoe Common pipistrelle Brown long-eared Greater horseshoe Soprano pipistrelle All the above species within 2km
Dormouse		No			Within 2km
Great Crested Newt		Yes	11		
Otter		No			Within 1km
Sand Lizard		No			
Smooth Snake		No			
Natterjack Toad		No			
Biodiversity - Priority Species					
Schedule 1 Birds	Species: Fieldfare, Redwing, Brambling, Barn Owl, Peregrine, Kingfisher, Red kite, Goshawk, Hobby, Merlin, Green Sandpiper	Yes	Redwing, Fieldfare – 28		Within 2km radius of all Cpts
Mammals (Red Squirrel, Water		Yes			Polecat



Vole, Pine Marten etc)	Within 2km for all species			Dormouse Red Squirrel
Reptiles (grass snake, adder, common lizard etc)	Yes	21		Adder
Plants	Yes/No			Knot Grass
Fungi/Lichens	Yes/No			Orange-Fruited Elm-lichen Anaptychia ciliaris subsp. ciliaris Bacidia incompta
Invertebrates (butterflies, moths, beetles etc)	Yes/No			Mottled Rustic Rustic Pale Eggar Lackey Shaded Broad-bar Brindled Beauty Garden Tiger White Ermine Small Square-spot Dot Moth Brown-spot Pinion Grey Dagger Rosy Rustic The Sprawler Pretty Chalk Carpet Beaded Chestnut Powdered Quaker Within a 2km radius
Amphibians (pool frog, common toad)	Yes	11		Common Toad Great Crested Newt
Other (please Specify):	Yes	2,3,4,5,6,7,8,9		Grey Partridge
	Yes	17,18,19,20,21,22,23,24,25,26,27		Curlew, Lapwing
Historic Environment				
Scheduled Monuments	No			
Unscheduled Monuments	No			
Registered Parks and Gardens	No			
Boundaries and Veteran Trees	No			
Listed Buildings	No			
Other (please Specify):	No			
Landscape				
National Character Area (please Specify): Herefordshire Lowlands				
National Park	No			

Area of Outstanding Natural Beauty	No			
Other (please Specify):	No			
People				
CROW Access	No			
Public Rights of Way (any)	Yes	4,7,11,13,14,19,22,25	6 & 7	
Other Access Provision	No			
Public Involvement	No			
Visitor Information	No			
Public Recreation Facilities	No			
Provision of Learning Opportunities	No			
Anti-social Behaviour	No			
Other (please Specify):	No			
Water				
Watercourses	Yes	1,2,3,4,5,7,20,22,23,28	2,3,6,7	
Lakes	No			
Ponds	Yes	16	7	
Other (please Specify):	Yes	ALL		NVZ 4 - Herefordshire

4.3 Habitat Types

This section is to consider the habitat types within your woodland(s) that might impact/inform your management decisions. Larger non-wooded areas within your woodland should be classified according to broad habitat type where relevant this information should also help inform your management decisions. Woodlands should be designed to achieve a diverse structure of habitat, species and ages of trees, appropriate to the scale and context of the woodland.

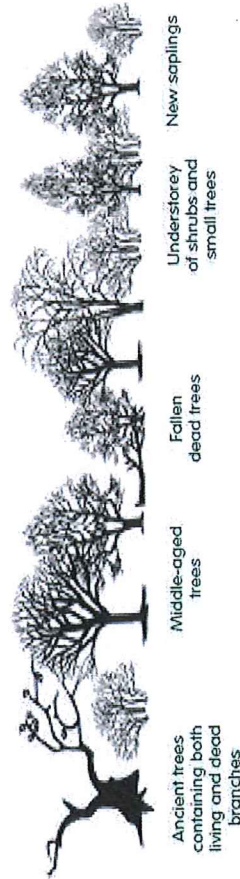
Feature	Within Woodland(s)	Cpts	Map No	Notes
Woodland Habitat Types				
Ancient Semi-Natural Woodland	Yes	7,11	6, 7	
Planted Ancient Woodland Site (PAWS)	Yes	10,12, 13	6, 7	
Semi-natural features in PAWS	No			
Lowland beech and yew woodland	Yes	11	6	
Lowland mixed deciduous woodland	Yes	5,6,7, 8,9,10 ,12,14 ,20,23 ,28	6, 7	
Upland mixed ash woods	No			
Upland Oakwood	No			
Wet woodland	No			
Wood-pasture and parkland	No			
Other (please Specify):	No			
Non Woodland Habitat Types				
Blanket bog	No			
Fenland	No			
Lowland calcareous grassland	Yes	10,11	6, 7	
Lowland dry acid grassland	No			
Lowland heath land	No			
Lowland meadows	No			
Lowland raised bog	No			
Rush pasture	No			
Reed bed	No			
Wood pasture	No			
Upland hay meadows	No			
Upland heath land	No			
Unimproved grassland	No			
Peat lands	No			
Wetland habitats	No			
Other (please Specify):	No			

4.4 Structure

This section should provide a snapshot of the current structure of your woodland as a whole. A full inventory for your woodland(s) can be included in the separate Plan of Operations spreadsheet. Ensuring woodland has a varied structure in terms of age, species, origin and open space will provide a range of benefits for the biodiversity of the woodland and its resilience. The diagrams below show an example of both uneven and even aged woodland.

Woodland Type (Broadleaf, Conifer, Coppice, Intimate Mix)	Percentage of Mgt Plan Area	Age Structure (even/uneven)	Notes (i.e. understory or natural regeneration present)
Broadleaf	85.11	Uneven	Principally Oak & Ash dominated woodlands. The smaller newly planted blocks have good species diversity. A varied shrub layer is developing in the more established woodland parcels
Conifer	14.89	Even	Large areas of DF and WRC have been thinned, smaller blocks are unthinned, and are poor quality

Uneven-aged woodland – many wildlife habitats because of high diversity



Even-aged woodland – tidy but of low diversity



Section 5: Woodland Protection

Woodlands in England face a range of threats; this section allows you to consider the potential threats that could be facing your woodland(s). Use the simple Risk Assessment process below to consider any potential threats to their woodland(s) and whether there is a need to take action to protect their woodlands.

Note: To add more tables, Copy the table and Paste below.

5.1 Risk Matrix

The matrix below provides a system for scoring risk. The matrix also indicates the advised level of action to take to help manage the threat.

Impact	High	Plan for Action	Action	Action
	Medium	Monitor	Plan for Action	Action
	Low	Monitor	Monitor	Plan for Action
		Low	Medium	High
Likelihood of Presence				

5.2 Plant Health

Threat (e.g. Ash Dieback, <i>Phytophthora</i> , Needle Blight etc)	Ash Dieback
Likelihood of presence (high/medium/low)	High
Impact (high/medium/low)	Medium
Response (inc protection measures)	Ash is the dominant species in several blocks and the main species in three blocks. As the disease progresses across the county, it is envisaged that the trees will continue to decline and die. Phased removal of the Ash from all exiting blocks to encourage regeneration and restock with species which will increase the diversity of the woodlands.

Threat (e.g. Ash Dieback, <i>Phytophthora</i> , Needle Blight etc)	Acute Oak Decline
Likelihood of presence (high/medium/low)	Low
Impact (high/medium/low)	High
Response (inc protection measures)	The estate has numerous isolated veteran Oak trees dotted around the landscape. Oak is also a component of many of the small blocks of wood. Map singular Veteran Oaks and

	continue to monitor for the disease. If found follow FC guidance on sanitary felling and restock the area.
Threat (e.g. Ash Dieback, <i>Phytophthora</i> , Needle Blight etc)	Phytophthora ramorum
Likelihood of presence (high/medium/low)	High
Impact (high/medium/low)	Low
Response (inc protection measures)	There is a band of European Larch trees adjacent to the farm and in one area. The younger trees aren't showing signs of P.ramorum in 2020. Monitor over the next 2 years and fell if their condition deteriorates.
Threat (e.g. Ash Dieback, <i>Phytophthora</i> , Needle Blight etc)	Sweet Chestnut Blight
Likelihood of presence (high/medium/low)	Low
Impact (high/medium/low)	Medium
Response (inc protection measures)	Sweet Chestnut makes up a small percentage of the woodland blocks and are younger in age.

5.3 Deer

Species - Likelihood of presence (high/medium/low)	Medium
Impact (high/medium/low)	Low
Response (inc protection measures)	There are several high seats sited around the orchards watching rides and tracks. Owners actively control deer.

5.4 Grey Squirrels

Likelihood of presence (high/medium/low)	High
Impact (high/medium/low)	Medium
Response (inc protection measures)	Squirrels are damaging some of the juvenile trees. To discuss with owner regarding future control, if none is occurring.

5.5 Livestock and Other Mammals

Threat (Sheep, Horse, Rabbit etc)	Livestock
Likelihood of presence (high/medium/low)	Low
Impact (high/medium/low)	Low
Response (inc protection measures)	The surrounding crops are Arable with a few Cattle. No evidence of Cattle entering the woodlands. Fences to be checked regularly by farm manager to prevent access. Horses are ridden around the estate woodlands in a controlled manner. No action required.

5.6 Water & Soil

Threat (Soil Erosion, Acidification of Water, Pollution incidents etc)	Soil erosion
Likelihood of presence (high/medium/low)	Medium
Impact (high/medium/low)	Medium
Response (inc protection measures)	The arable nature of the crops means that after the harvest period, soils are exposed during the winter months. Heavy rainfall will lead to erosion of these soils. Stream side coupes will be gradually eroded by hydraulic action but will add to banks due to deposition further down-stream. Any operations will be carried out so to reduce the risk of soil erosion

Threat (Soil Erosion, Acidification of Water, Pollution incidents etc)	Pollution Incidents
Likelihood of presence (high/medium/low)	Low
Impact (high/medium/low)	High
Response (inc protection measures)	All operations will be assessed for potential environmental damage. Spill kits will be carried by all machines and operators. Pollution guidelines will be followed. Any incidents of pollution will be reported to the Environment Agency.

5.7 Environmental

Threat (Pollution, Fire, Flood, Wind, Invasive Species, etc)	Flood
Likelihood of presence (high/medium/low)	Medium
Impact (high/medium/low)	Medium
Response (inc protection measures)	Several woodland blocks are adjacent to rivers. Flooding may cause the root systems to deteriorate and saturate the ground, making it difficult for species which are dry area specialists to continue to be stable. Trees failing and falling into watercourse may exacerbate flooding or provide shelter for riverine wildlife. Any restocking which is adjacent to a major watercourse to be considerate regarding water tolerant species.

Threat (Pollution, Fire, Flood, Wind, Invasive Species, etc)	Fire
Likelihood of presence (high/medium/low)	Low
Impact (high/medium/low)	Low
Response (inc. protection measures)	Due to the isolated nature of the woodland blocks fire would only impact a small area. Fire Service would be the main contact if a woodland were on fire.

Threat (Pollution, Fire, Flood, Wind, Invasive Species, etc)	Wind
Likelihood of presence (high/medium/low)	Medium
Impact (high/medium/low)	Medium
Response (inc. protection measures)	Most of the woodland parcels are self-contained and have firm edges. Most of the smaller blocks have been planted as windbreaks. Parcels which have been over-thinned may suffer from windthrow. Riverine conifer blocks are overdue an intervention but will not stand a thinning. Clearfelling these areas and restocking with suitable low intervention species, will increase the diversity of these areas and increase the biodiversity

Threat (Pollution, Fire, Flood, Wind, Invasive Species, etc)	Invasive Species (Botanical)
Likelihood of presence (high/medium/low)	Low
Impact (high/medium/low)	Low
Response (inc. protection measures)	There is no presence of rhododendron within any of the woodland blocks. Laurel is present in one area, which is contained and there is little sign of Himalyan Balsam. Bramble overgrowing restocked areas is a concern and will be managed, to ensure good woodland establishment and development.

5.8 Social

Threat (Rights of Way, CROW, permissive access, events sporting rights, Anti-social Behaviour etc)	Rights of Way
Likelihood of presence (high/medium/low)	Medium
Impact (high/medium/low)	Low
Response (inc protection measures)	There are numerous rights of way adjacent to and within the woodlands. These don't appear to be regularly used and are very overgrown in places.

Threat (Rights of Way, CROW, permissive access, events sporting rights etc)	Sporting Rights
Likelihood of presence (high/medium/low)	Medium
Impact (high/medium/low)	Low
Response (inc protection measures)	There is a game pen located in one of the woodlands. Game sport on the estate is minimal with deer control the main focus.

5.9 Economic

Threat (Timber forecasting, markets, products, operational costs etc)	Markets for Ash timber
Likelihood of presence (high/medium/low)	High
Impact (high/medium/low)	High

Response (inc protection measures)	With Ash dieback due to open a glut of timber to the firewood markets, this will in turn reduce the value of any Ash on the estate. Any Ash removal due to the disease will have to be carefully planned to maximise economic returns.
Threat (Timber forecasting, markets, products, operational costs etc)	Economic timber
Likelihood of presence (high/medium/low)	Low
Impact (high/medium/low)	High
Response (inc protection measures)	Many of the woodlands are currently of low timber value, hence any future restocking and management would have to break even especially in the coniferous areas.

5.10 Climate Change Resilience

Threat (Uniform Structure, Provenance, Lack of Diversity etc)	Lack of diversity
Likelihood of presence (high/medium/low)	Medium
Impact (high/medium/low)	Medium
Response (inc protection measures)	Newly planted areas have good species diversity and any restocking or further planting will also reflect this diversity. There will be an increase in conifer species in non-ancient woodland areas.
Threat (Uniform Structure, Provenance, Lack of Diversity etc)	Uniform structure in conifer stands
Likelihood of presence (high/medium/low)	Low
Impact (high/medium/low)	Medium
Response (inc protection measures)	Conifer stands where conditions allow will be thinned or felled to give a more complex structure to these woodlands.
Threat (Uniform Structure, Provenance, Lack of Diversity etc)	Provenance
Likelihood of presence (high/medium/low)	Medium
Impact (high/medium/low)	Medium



Response (inc protection measures)	Suitable provenances of trees will be selected when restocking or when new planting occurs. Provenances will be either from the current 403 or from 2 degrees latitude south, ie 404 or 405. As these provenances will be more drought tolerant.
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Section 6: Management Strategy

This section requires a statement of intent, setting out how you intend to achieve your management objectives and manage important features identified within the previous sections of the plan. A detailed work programme by sub-compartment can be added to the Plan of Operations.

Management Objective / Feature	Management Intention
Provide shelter from the wind for arable and orchard crops	<ol style="list-style-type: none"> 1. Shelterbelt woodlands will be thinned and underplanted where feasible to retain suitable protection to the arable crops. 2. Additional future veteran trees can be established to provide additional windbreaks.
Maintain the Estate's patchwork of woodland parcels	<ol style="list-style-type: none"> 1. There will be minimal clearfelling of isolated woodland blocks where this would lead to the complete loss of a woodland habitat.
Generate timber for the Estate's Biomass generator	<ol style="list-style-type: none"> 1. Approximately 50 tonnes of chipwood will be produced from a combination of orchard timber and woodland timber per year.
Restructure the existing woodlands to remove Ash species	<ol style="list-style-type: none"> 1. Ash dominant woodlands will be clearfelled or thinned where possible, utilising the grant system to assist with restocking.
Create a more species diverse woodland habitat	<ol style="list-style-type: none"> 1. Single species woodlands will be gradually thinned or have small coupe fellings to create a diverse structure. 2. Any restocking will comprise of a minimum of 3 species.
Enhance riparian woodland parcels blocks by removing some conifer species	<ol style="list-style-type: none"> 1. Clearfelling of 3 conifer compartments 2a, 2b, 2c, 3a & 4a. 2. Riparian clearfelled areas will be restocked with broadleaf/conifer mix to provide an enhanced habitat. 3. Water quality / acidification is to be taken into account when selecting restocking species.
Maintain woodland cover for sporting interests	<ol style="list-style-type: none"> 1. Woodlands will continue to provide shelter for deer and game shooting 2. A deer management plan will be created to monitor the volume of deer on the estate and they will be managed to maintain an ecological balance
Enhance the ecological value of Veteran Trees within the Estate	<ol style="list-style-type: none"> 1. Veteran trees will be identified and mapped for future protection. 2. In areas where there are fewer veteran trees, additional trees will be mapped.

Section 7: Stakeholder Engagement

There can be a requirement on both the FC and the owner to undertake consultation/engagement. Please refer to [Operations Note 35](#) for further information. Use this section to identify people or organisations with an interest in your woodland and also to record any engagement that you have undertaken, relative to activities identified within the plan.

Work Proposal	Individual/ Organisation	Date Contacted	Date feedback received	Response	Action
Priority Species & SSSI	Natural England				
Cmpt 27	Ledbury Parish Council				
Cmpt 28	Wellington Heath Parish Council				
Cmpts 14-26 & 28	Bosbury & Coddington Parish Council				
Cmpts 1-4 & 8-13	Castle Frome Parish Council				
Cmpts 5-7	Cannon Frome Parish Council				

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Section 8: Monitoring

Indicators of progress/success should be defined for each management objective and then checked at regular intervals. Other management activities could also be considered within this monitoring section. The data collected will help to evaluate progress.

Management Objective/Activities	Indicator of Progress/Success	Method of Assessment	Frequency of Assessment	Responsibility	Assessment Results
Provide shelter from the wind for arable and orchard crops	No crops are damaged by wind	Reports from Owner	Annual	Owner/Agent	Will shape future management options
Maintain the Estate's patchwork of woodland parcels	Review in 5 & 10yrs	Site survey	5 years	Agent	Will shape future management options
Generate timber for the Estate's biomass generator	Requirement to purchase externally	Biomass purchasing records	Annual	Agent	Will shape future management options
Restructure the existing woodlands to remove Ash species	Ash dominated blocks are restructured / removed & replanted	Site survey	5 years	Agent	Will shape future management options
Create a more diverse woodland habitat	Number of species in each block is increased	Site survey	5 years	Agent	Will shape future management options

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Enhance riparian woodland parcels by removing some conifer species	More species diverse and evidence of management	Site survey	10 year	Agent	Will shape future management options
Maintain woodland cover for sporting interests	Not to fell broadleaf blocks in close proximity to each other	Discussion with shooting party	5 year	Owner/ Agent	Will shape future management options
Enhance the ecological value of Veteran Trees within the Estate	Survey and identify Veteran trees	Site Survey & report	1 st year & 5yr & 10yr	Agent	Will shape future management options

1876

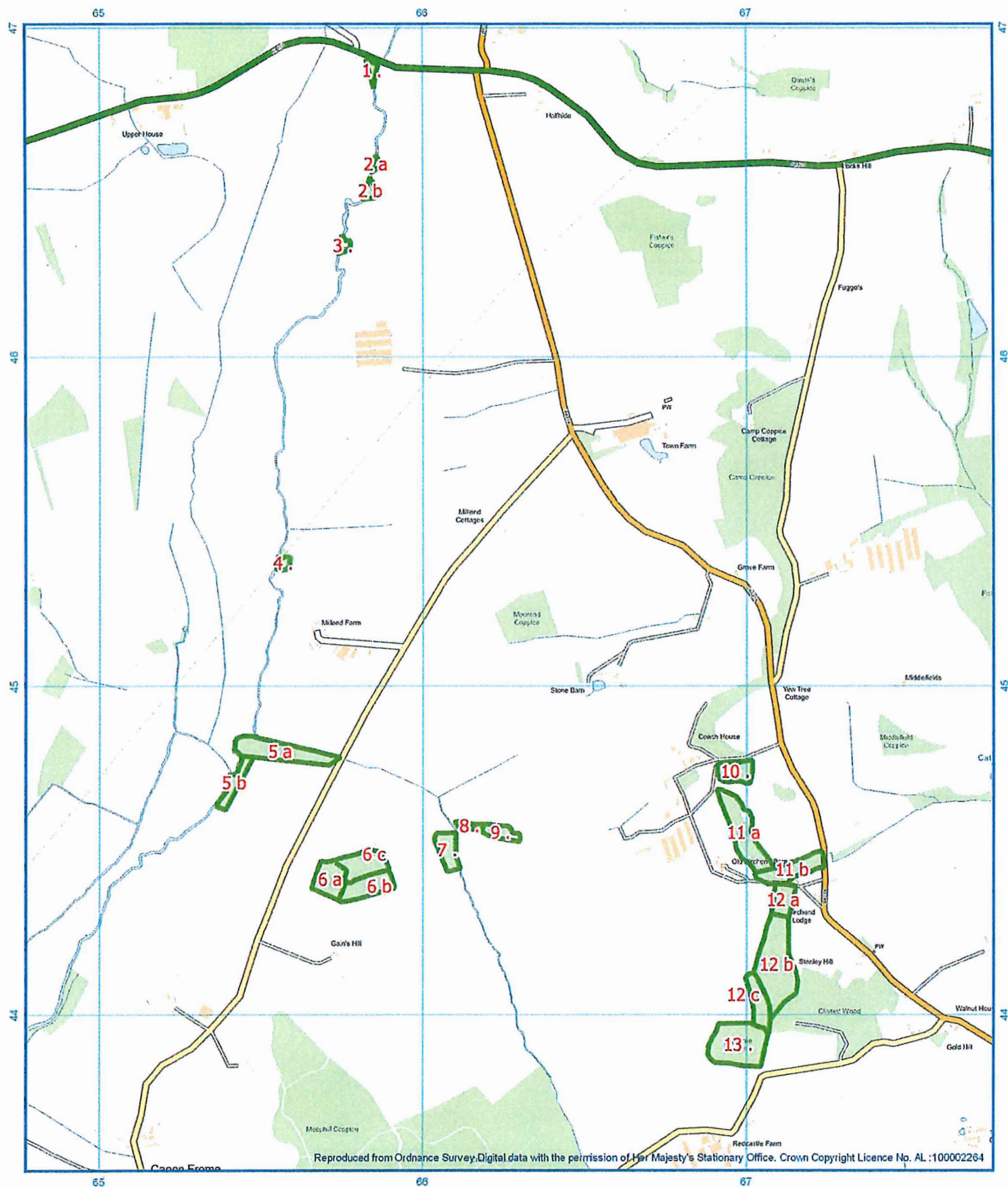
UK Forestry Standard woodland plan assessment

For FC office use and approval only:

UKFS management plan criteria	Minimum approval requirements	Achieved	Review notes
Plan Objectives: Forest management plans should state the objectives of management and set out how an appropriate balance between social, economic, environmental objectives will be achieved.	<ul style="list-style-type: none"> Management plan objectives are stated. Consideration is given to environmental, economic and social objectives relevant to the vision for the woodland. 	Yes/No	
Forest context and important features in management strategy: Forest management plans should address the forest context and the forest potential and demonstrate how the relevant interests and issues have been considered and addressed.	Management intentions communicated in Sect. 6 of the management plan are in line with stated objective(s) in Sect. 2 . Management intentions should take account of: <ul style="list-style-type: none"> Relevant features and issues identified in the woodland survey (Sect. 4). Any potential threats to and opportunities for the woodland, as identified under woodland protection (Sect. 5). Relevant comments received from stakeholder engagement are documented in Sect. 7. 	Yes/No	
Identification of designations within and surrounding the woodland site: For designated areas, e.g. National Parks or SSSI, particular account is taken of landscape and other sensitivities in the design of forests and forest infrastructure.	<ul style="list-style-type: none"> Survey information (Sect. 4) identifies any designations that impact on woodland management. Management intentions (Sect. 6) have taken account of any designations. 	Yes/No	
Felling and restocking to improve forest structure and diversity: When planning felling and restocking, the design of existing forests should be re-	<ul style="list-style-type: none"> Felling and restocking proposals are consistent with UKFS design principles (for example scale and adjacency). Current diversity (structure, species, age 	Yes/No	

assessed and any necessary changes made to meet UKFS requirements. Forests should be designed to achieve a diverse structure of habitat, species and age range of trees, appropriate to the scale and context. Forests characterised by a lack of diversity, due to extensive areas of even-aged trees, should be progressively restructured to achieve age class range.	structure) of the woodland has been identified through the survey (Sect. 4). • Management intentions aim to improve / maintain current diversity (structure, species, and ages of trees).		
Consultation: Consultation on forest management plans and proposals should be carried out according to forestry authority procedures and, where required, the Environmental Impact Assessment (Forestry) Regulations.	<ul style="list-style-type: none"> Stakeholder consultation is in line with current FC guidance, and recorded in Sect. 7. The minimum requirement is for statutory consultation to take place, and this will be carried out by the Forestry Commission. Plan authors undertake stakeholder engagement (ref FC Ops Note 35) relevant to the context and setting of the woodland. 	Yes/No	
Plan update and review: Management of the forest should conform to the plan, and the plan should be updated to ensure it is current and relevant.	<ul style="list-style-type: none"> A 5 year review period is stated on the 1st page of the plan Sect. 8 is completed with 1 indicator of success identified per management objective 	Yes/No	

Approved in Principle <i>This means the FC is happy with your plan; it meets UKFS requirements.</i> a) You can use it to support a CS-HT or other grant application. b) You do not yet have a licence to undertake any tree felling in the plan.	Name (WO or FM):	Date:
Approved <i>This means FC is happy with your plan; it meets UKFS requirements, and we have also approved a felling licence for any tree felling in the plan (where required).</i>	Name (AO, WO or FM):	Date:



THE FARM - Compartment Map

Compartments



Signature of Agent

T. J. Whitchurch

Date: 03 FEB 2021

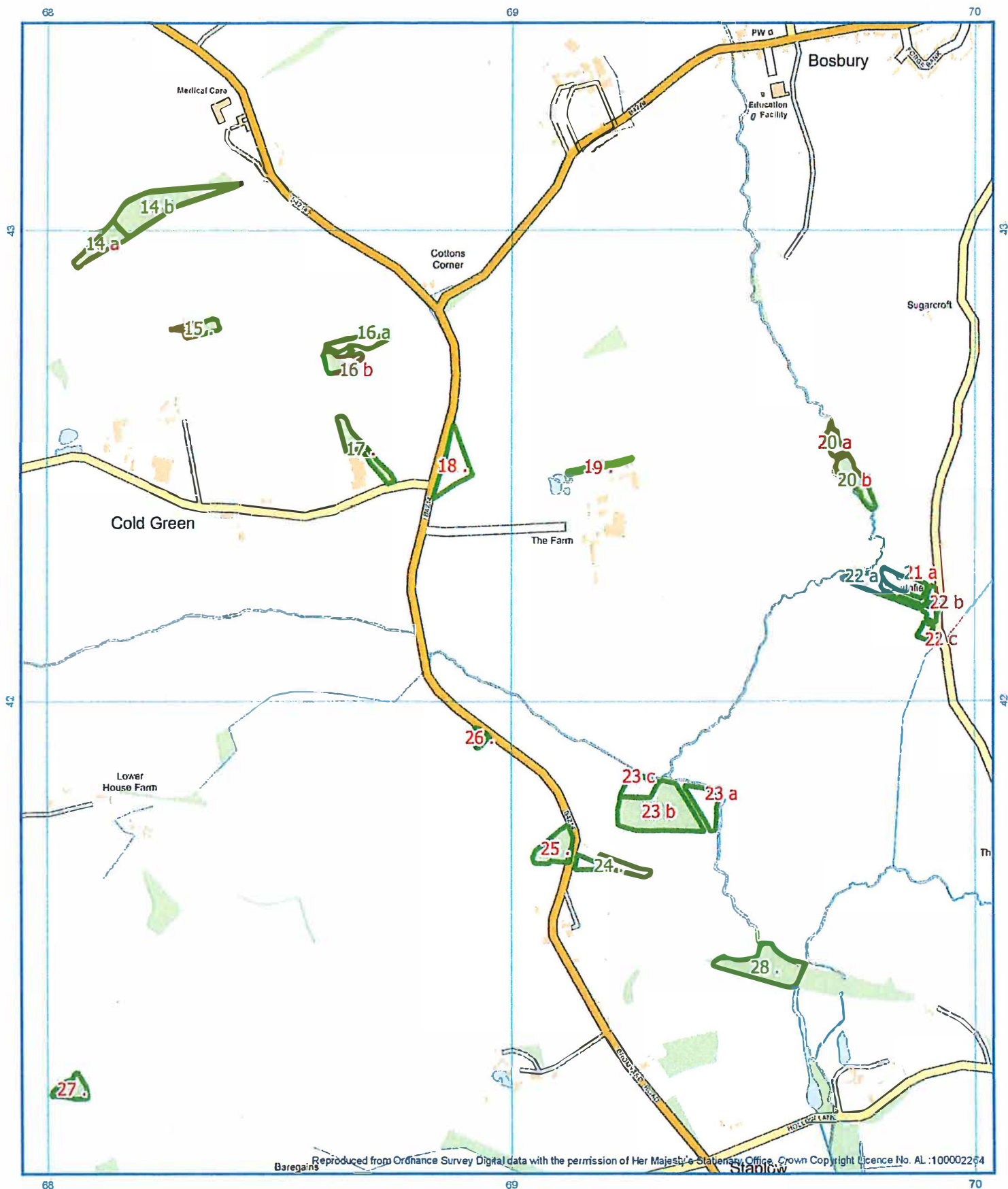


Pryor & Rickett
Silviculture
Chartered Foresters & Woodland Consultants

1:15000 | Scale Correct at A4
Grid Ref: SO662452
Date: 03/02/2021
Drawn by: Tom W

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1879



THE FARM - Compartment Map

Compartments



Signature of Agent

T. J. Whitchures

Date: 03 FEB 2021

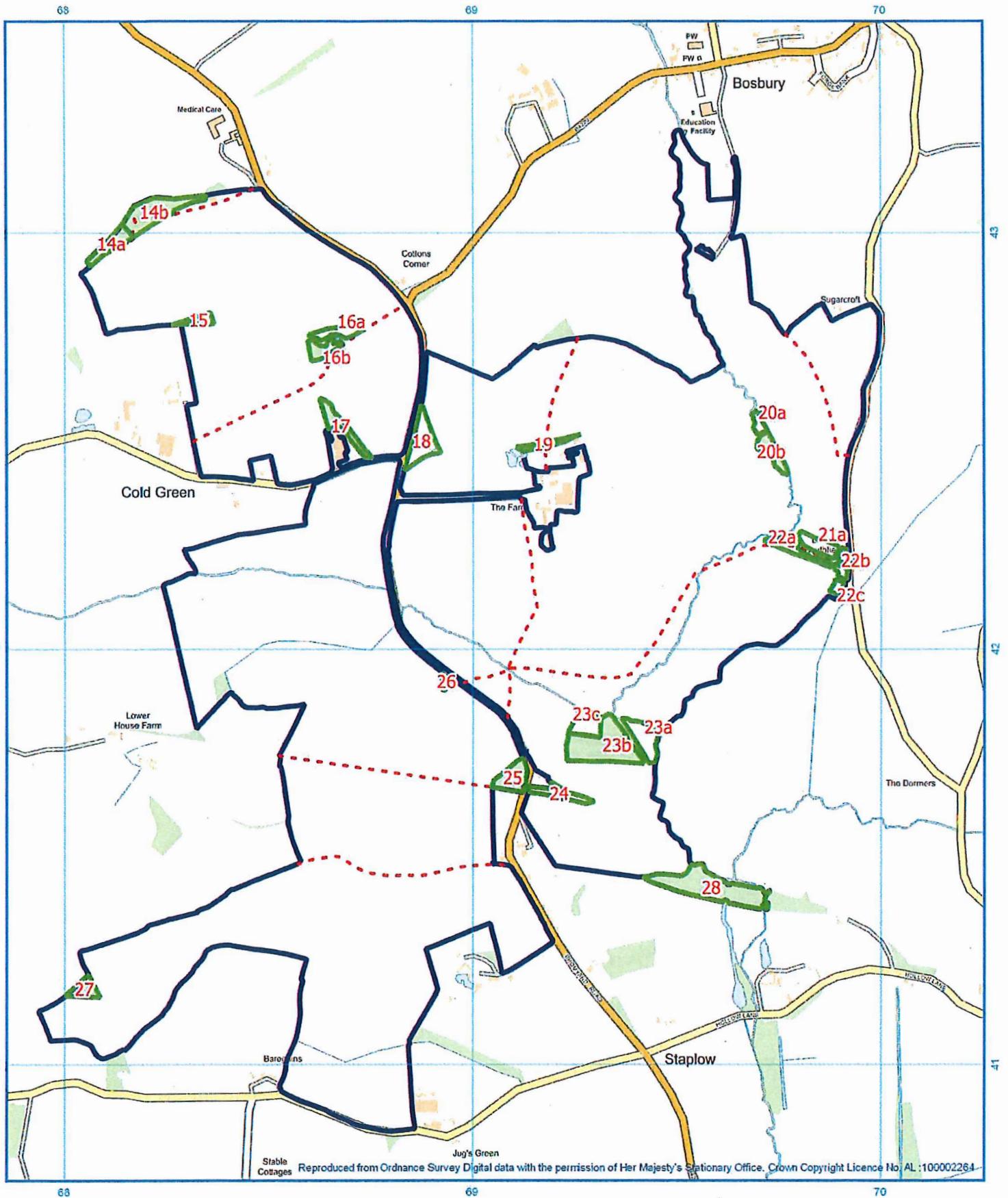
1880



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Silviculture
Chartered Foresters & Woodland Consultants

1:10500 | Scale Correct at A4
Grid Ref: SO689422
Date: 03/02/2021
Drawn by: Tom IV

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THE FARM - Constraints Map

- Property Boundary
- Compartments
- Ancient Woodland
- SSSI
- Bridleway
- Public Rights of Way
- Water feature

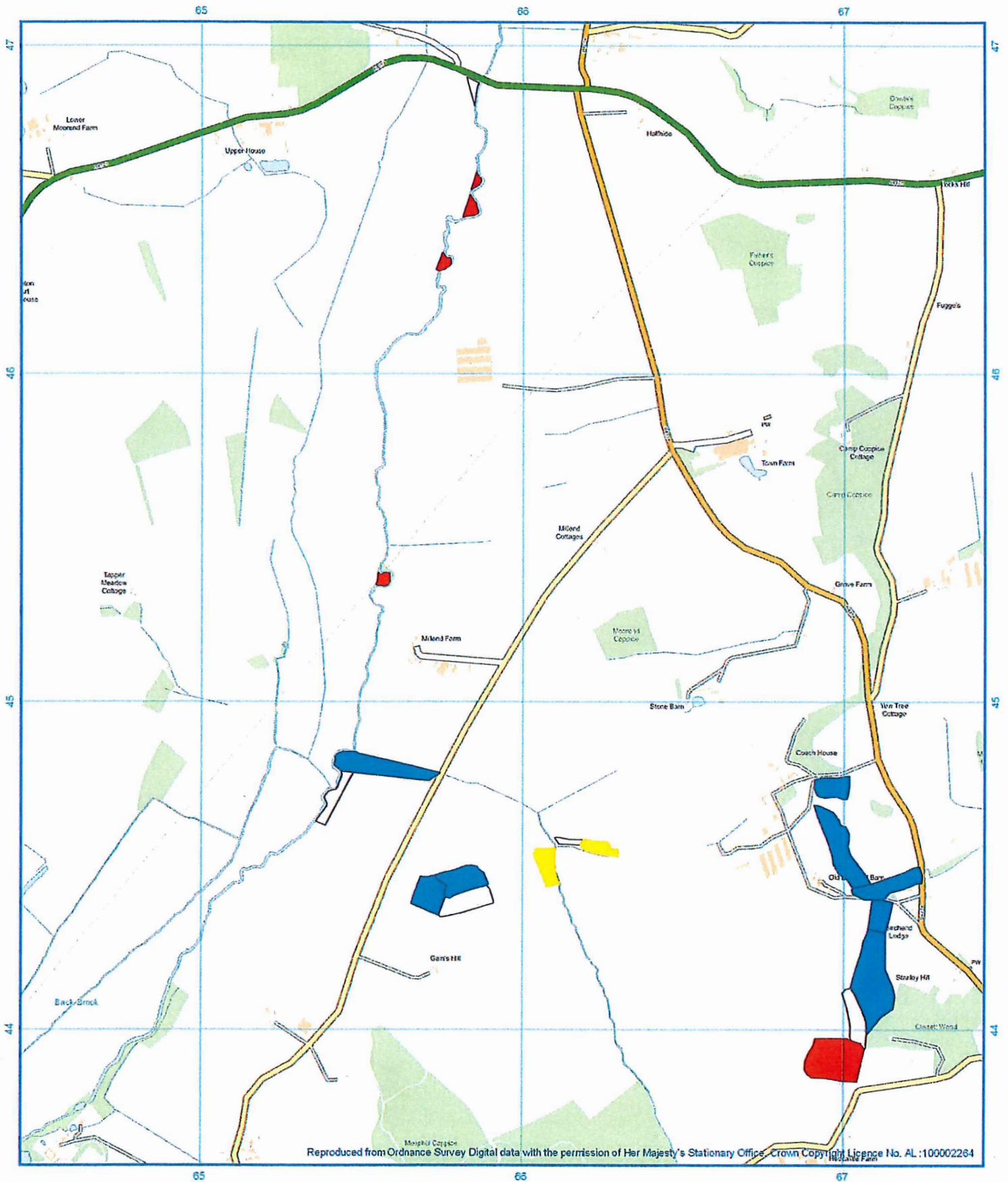


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Silviculture
 Chartered Foresters & Woodland Consultants

1:12000 | Scale Correct at A4
 Grid Ref: SO690421
 Date: 04/02/2021
 Drawn by: Tom W

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1881



THE FARM - Operations Map

Compartments

- Clearfell
- Regeneration Fell / Select Fell
- Thinning
- No Operations

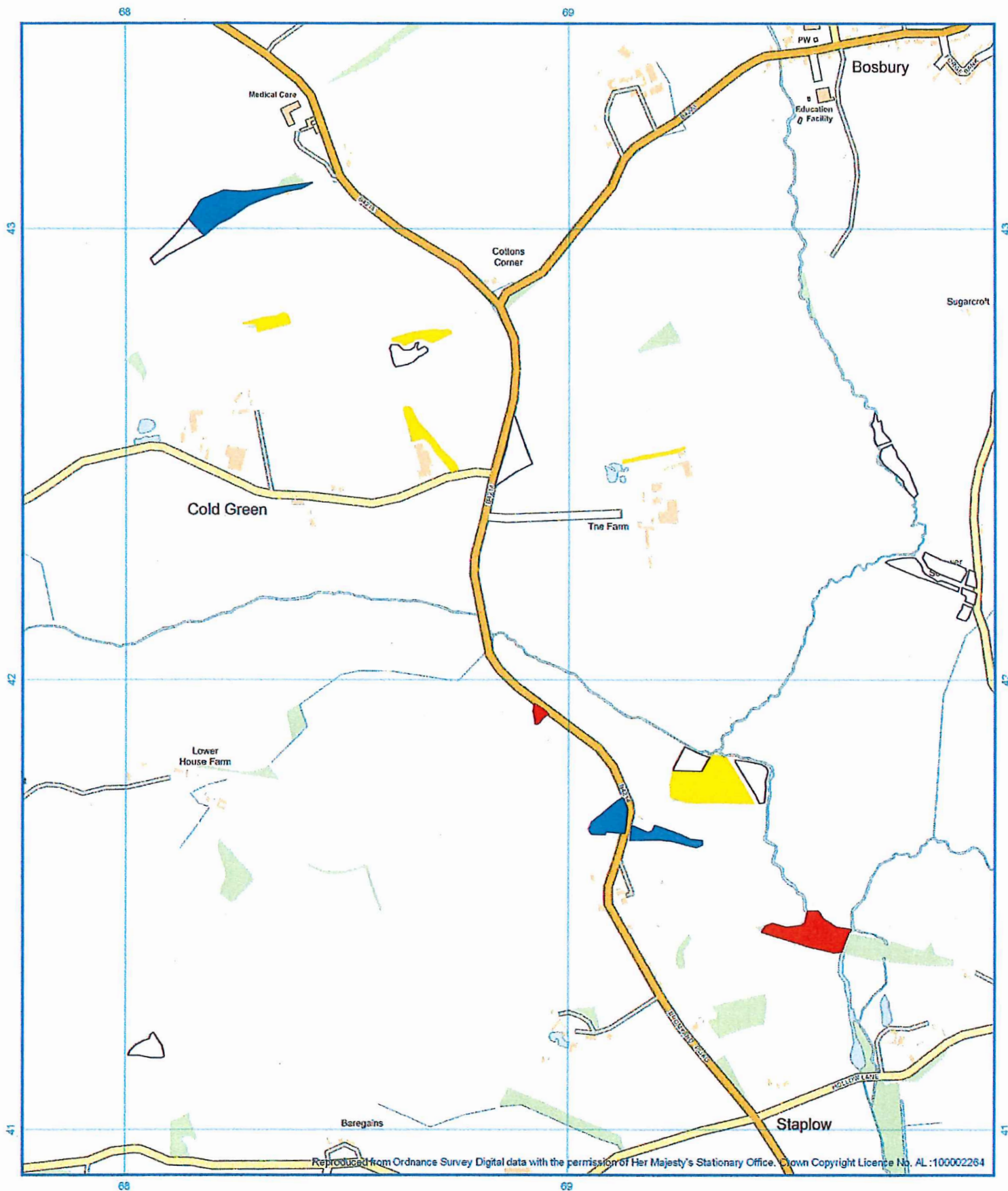


Prior & Rickett
Silviculture
 Chartered Foresters & Woodland Consultants

1:15000 | Scale Correct at A4
 Grid Ref: SO659453
 Date: 03/02/2021
 Drawn by: TomW

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1883



THE FARM - Operations Map

Compartments

- Clearfell
- Regeneration Fell / Select Fell
- Thinning
- No Operations

1885



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Silviculture
 Chartered Foresters & Woodland Consultants

1:11000 | Scale Correct at A4
 Grid Ref: SO688421
 Date: 03/02/2021
 Drawn by: TorriW

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Sub-Cpt Record						Work Programme									
Cpt	Sub-Cpt	Area (Ha)		Species	Designations	Activity	Years						Notes		
		Gross	Net				1	2	3	4	5	6 - 10			
1		0.14	0.14	BPO SCI											
2	a	0.05	0.05	NS MB		Enhance compartment by clearfelling and restocking with a diverse species mixture						X			
2	b	0.19	0.19	NS MB		Enhance compartment by clearfelling and restocking with a diverse species mixture						X			
3		0.05	0.05	NS MB		Enhance compartment by clearfelling and restocking with a diverse species mixture						X			
4		0.15	0.15	NS MB		Enhance compartment by clearfelling and restocking with a diverse species mixture						X			
5	a	1.58	1.57	AH		Clearfell and restock to reduce the threat from Ash dieback	X	X						Minimal understorey disruption	
5	b	0.55	0.55	CAR GWL SBI WC		Maintain newplanting (weed control)	X	X	X						
6	a	0.91	0.91	WRC		Thin WRC as part of standard woodland management					X				
6	b	0.95	0.94	SC HAZ		Coppice Sweet Chestnut						X			
6	c	0.88	0.88	H SC HAZ OK MB		Thin to remove Ash and allow natural regeneration	X	X							
7		0.63	0.62	AH MB	ASNW	Selectively fell the Ash, retaining all other species. Restock with native broadleaf	X	X							
8		0.09	0.09	CAR GWL MB		Survey to ensure Willow does not become dominant species		X			X	X			
9		0.24	0.22	AH MB		Selectively fell the Ash, retaining all other species. Restock with native broadleaf	X	X							
10		0.69	0.69	CP BE AH	PAWS	Thin out diseased Ash from the woodland, encourage natural regeneration		X							
11	a	1.25	1.15	#REF!	SSSI/ASNW	Thin out diseased Ash from the woodland, to allow natural regeneration			X						
11	b	0.63	0.63	BE OK AH MB	SSSI/ASNW	Thin out diseased Ash from the woodland, to allow natural regeneration			X						
12	a	0.53	0.53	OK AH MB	PAWS	Thin out diseased Ash from the woodland			X						
12	b	2.50	2.50	OK AH MB	PAWS	Thin out diseased Ash from the woodland			X						
12	c	0.68	0.63	WCH AH MB	PAWS				X						
13	a	1.78	1.78	DF NS MB	PAWS	Thin crop to encourage retained trees to grow, monitor for windthrow post thinning			X			X			
14	a	0.19	0.15	OK NS MB MC		Maintain newplanting (weed control)	X	X	X						
14	b	0.92	0.85	OK AH MB		Thin the woodland to maintain the species & structural diversity of the woodland						X			
15		0.14	0.14	OK AH FM MB		Selectively fell the Ash, retaining all other species. Restock with diverse species				X					
16	a	0.26	0.26	EL MB		Monitor woodland for Phytophthora ramorum	X	X	X	X	X	X			
16	b	0.23	0.23	OK WCH CAR HAZ		Maintain newplanting (weed control)	X	X	X						
17		0.33	0.33	K WCH CAR AH M		Selectively fell the Ash, retaining all other species. Restock with diverse species				X					
18		0.55	0.55	SBI WCH FM HA											
19		0.06	0.06	EL OK SBI NS		Monitor woodland for Phytophthora ramorum	X	X	X	X	X	X			
20	a	0.19	0.19	OK AH CAR											
20	b	0.30	0.30	OK GWL CAR		Maintain restocked Oak trees	X	X							
21	a	0.27	0.27	#REF!		Maintain newplanting (weed control)	X								
21	b	0.06	0.06	K CAR HAZ SY SL		Maintain newplanting (weed control)	X								
22	a	0.28	0.28	K CAR HAZ SY SL		Maintain newplanting (weed control)	X								
22	b	0.07	0.07	K SBI SLI HAZ MB		Maintain newplanting (weed control)	X								
22	c	0.06	0.06	K SBI SLI HAZ MB		Maintain newplanting (weed control)	X								
23	a	0.34	0.34	WCH FM HAZ HA		Maintain newplanting (weed control)	X								
23	b	1.25	1.25	OK AH		Selectively fell out the Ash, retaining all other species. Restock with diverse species		X							
23	c	0.35	0.35	OK WCH HAZ M		Maintain newplanting (weed control)	X								
24		0.24	0.24	OK AH FM MB		Thin out Ash from Canal strip		X							
25		0.44	0.44	C ROK AH HAZ M		Thin out Ash from woodland		X							
26		0.09	0.05	AH OK		Clearfell and restock to reduce the threat from Ash dieback and roadside proximity		X							
27		0.25	0.25	OK											
28		1.38	1.38	AH		Clearfell and restock to reduce the threat from Ash dieback and enhance diversity		X							
13	a	1.78	1.78	DF NS MB	PAWS	Clearfell and restock if necessary						X			

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